



**VILLAGE OF WESTMONT
PLANNING AND ZONING COMMISSION
AGENDA ITEM**

MEETING DATE: July 11, 2018

P/Z 18-011

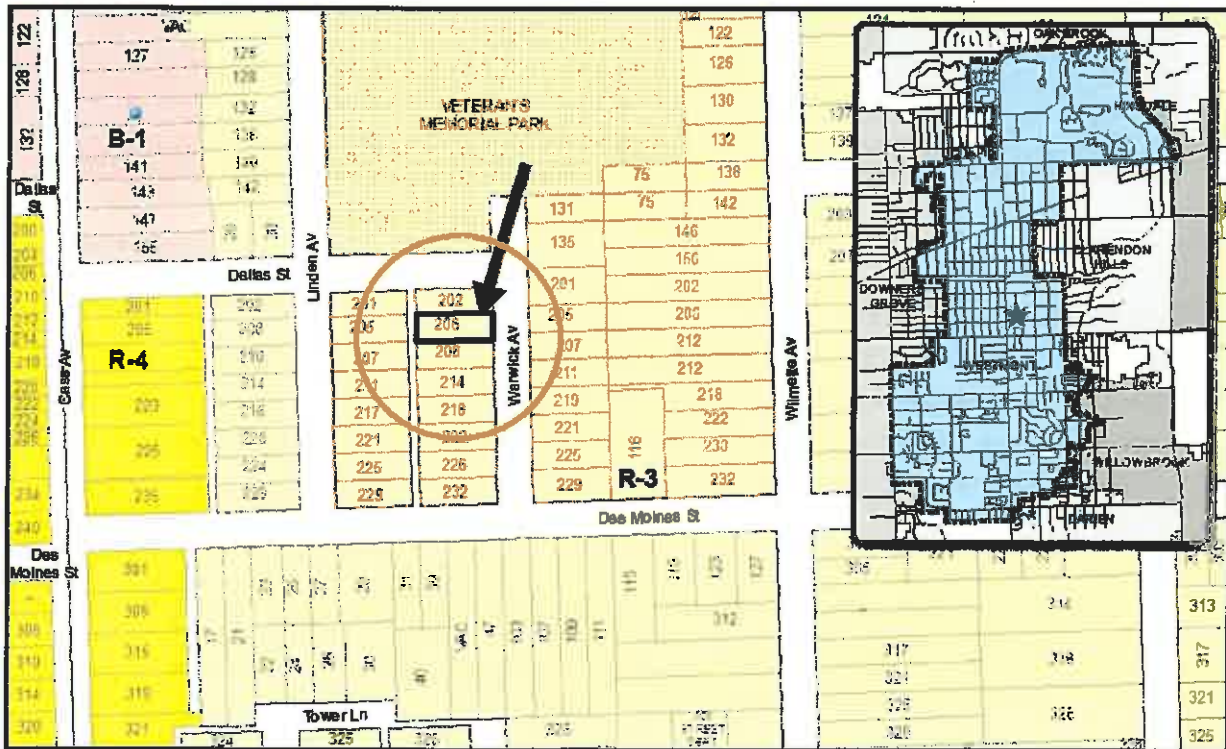
TITLE: 206 South Warwick Avenue, Westmont, IL 60559 - Brian and Michelle Walsh - regarding the following:

- (A) Zoning Code Variance request to allow for construction of a home addition within a required front yard setback in the R-3 Single Family Detached Residence District.

BACKGROUND OF ITEM

General Legal and Location:

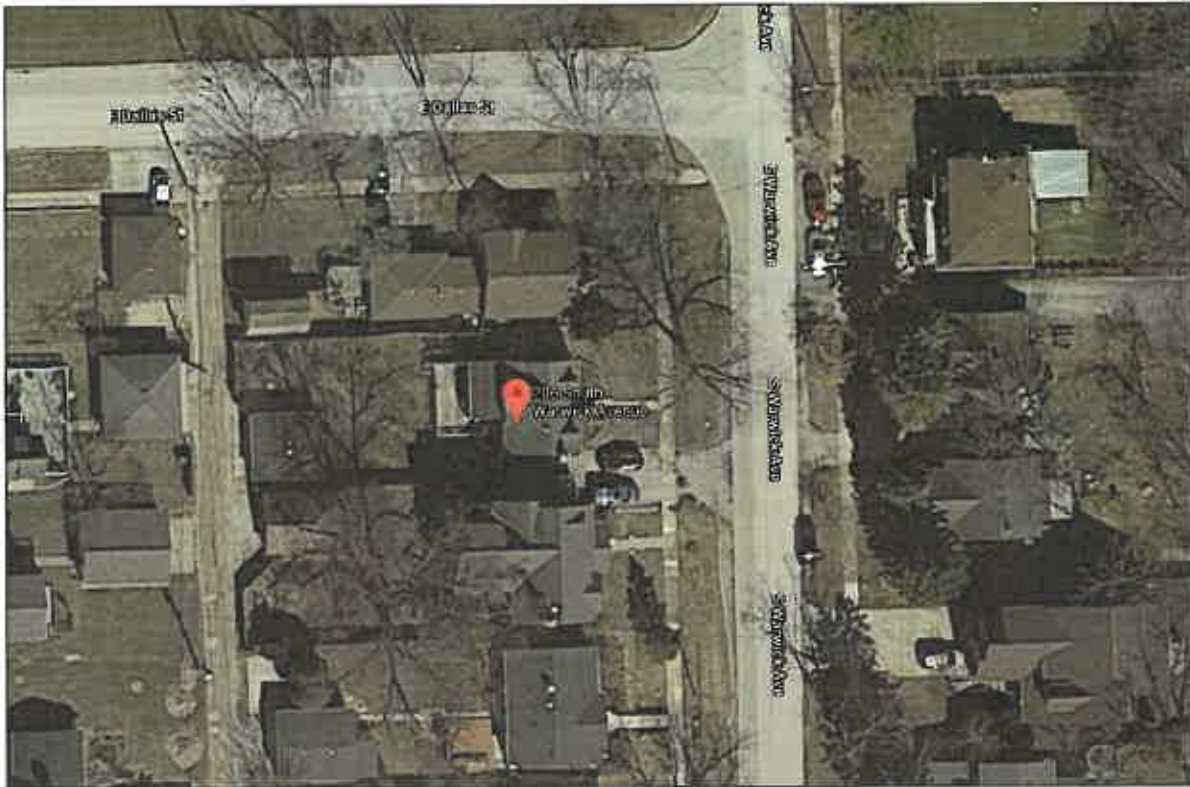
The subject lot is located on the west side of South Warwick Avenue, between Dallas and Des Moines Streets. The property is also known as Lot 15 in Block 4 in the Barbara Dudek's Resubdivision, as recorded on February 10, 1928 with Document No. 251754. The lot is 50' x 140' and is approximately 7,000 square feet or 0.16 acres in size.



206 South Warwick Avenue - Zoning Map

Adjacent Zoning:

The property is zoned R-3 Single Family Detached Residential District, as are the adjacent properties to the north, south, east and west.



206 South Warwick Avenue - Aerial Map

Neighborhood Characteristics:

The area is primarily comprised of single-family homes and in close vicinity to Veteran's Memorial Park to the north. One of the oldest subdivisions in the village, many lots are considered legal non-conforming as they do not meet the minimum bulk standards for the zoning district, including size, width and established setbacks.

The home on the property is an existing 1-½ level brick cape cod style home with a small entry vestibule and exterior stairway at the front. These architectural features currently encroach into the required front yard setback.



206 South Warwick Avenue - Existing Front Facade

Petitioner Request:

The petitioner has submitted building plans to construct a large addition to the rear of the house, but has also designed a front porch to replace the existing entry area. The front porch will allow for both a higher quality design and provide new outdoor living space.

The front facade currently has a setback of 27.8', with the front entry at 23.9'. The zoning district requires a 35' setback, although this property could meet an exception to permit a 25' setback without the need for a variance. As designed, the new front porch would be 21.9', or a 3.1' encroachment into the allowable setback. The proposed new porch would be 2' closer to the street than the existing entry, although it would span the entire width of the house, not just at the entry door.

The petitioner has provided photographs of neighboring properties to illustrate that many homes in the neighborhood already exist within the setbacks, including the home immediately to the south.

The petitioner requests a variance of 3.1' from the minimum front yard setback of 25'. The resulting front porch would be at a 21.9' setback from property line.

Precedent and History:

No previous variances can be found for this stretch of South Warwick Avenue, and only one recently built home abides by the codified 35' setback. All other homes have been constructed prior to the inception of current code. In 2016, staff created an exception to the 35' setback by allowing a 25' setback when the existing neighborhood exhibited similar setback conditions, provided the encroachment was not of a garage.

Staff has found that the home immediately to the south has a setback of 16', with another home across the street at 19.4'.



206 South Warwick Avenue - DuPage County Parcel Viewer Map

ZONING ANALYSIS**Variance Request - Front Yard Setback Variance**

Minimum setbacks for the district are defined in Appendix "A", Section 6.04 - Bulk and development standards in residence districts. A summary of requirements and requested variance is discussed below.



206 South Warwick Avenue - Adjacent home conditions



The required front yard setback for the R-3 district is 35', or 25' with the permitted exception. It would not be possible to add a useable front porch and still meet this setback, as the existing home already sits at 27.8' to the front property line and would only permit a porch of 2.8' in depth.

The designed front porch has a depth of 6' and is not excessive in size. The addition will complement the overall renovation of the home, with a gable roof detail to emphasise the front door entry and stairs. Although the uncovered stairs can be exempted from the variance request, the porch would be at 21.9', or a 3.1' encroachment.

Sec. 6.04. - Bulk and development standards in residence districts.

<i>R-3 District</i>	<i>Minimum Front Yard</i>	<i>Requested Setback</i>
Single-family detached dwelling	35'	21.9'
Variance Requested:		3.1' encroachment variance (12.4%)

SUMMARY

The applicant requests a variance for relief from the minimum setback for a front yard to construct a home porch addition in the R-3 Single Family Detached Residence District.

DOCUMENTS ATTACHED

1. Public notice as published in the June 27, 2018 edition of the Westmont Suburban Life.
2. Application for variance, with associated application materials, dated June 18, 2018.
 - a. Plat of Survey, prepared by Land Technology, dated April 24, 2018.
 - b. Building Plan and Elevations, prepared by S.G. Architects INC, dated May 06, 2018.



Benson's Remodeling LLC

REQUEST FOR VARIANCE

To Whom it may concern:
206 S Warwick

We are requesting a variance for the home located at 206 S Warwick. It is an older style Cape Cod that currently has the main front wall at 27.96' from the front. We are proposing a new front porch that would be 6' out from the front wall. The new structure would encroach the 25' build line by 3.04'. Without the front porch, the home would not have any curb appeal. The main reason for the renovation is to add curb appeal and modernize the home. There are multiple existing homes on the same block that have encroached the front build line for the addition of a front porch for added outdoor living space as well as adding character to the homes. The new renovation is going to be good for the local residence and community as it will help raise the median home values in its neighborhood, we feel that the front porch will be a big part of it. We have submitted stamped architectural drawings of what the home will look like with, or without the front porch. The drawings make it very easy to see that the front porch will be a great addition for the neighborhood.

Thank you,
Benson Sennstrom
Benson's Remodeling LLC

 6/14/18 BS



VILLAGE OF WESTMONT PLANNING AND ZONING COMMISSION
FINDINGS OF FACT

PUBLIC HEARING OF JULY 11, 2018

P/Z 18-011 – Brian and Michelle Walsh, regarding 206 South Warwick Avenue, Westmont

Request for a variance to allow for the construction of a home addition within the required front yard setback.

CRITERIA NO. 1: The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the district in which it is located.

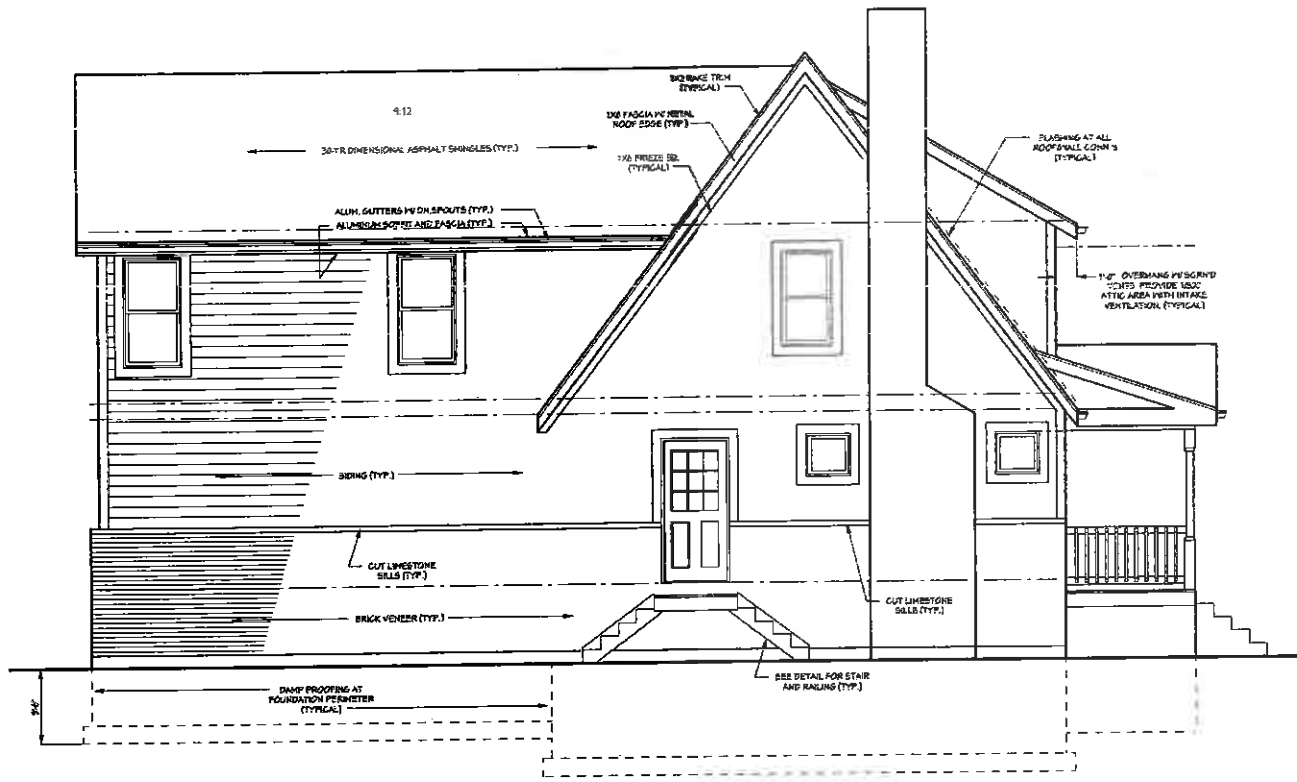
FINDINGS OF FACT: The Applicant is proposing to replace a small entry vestibule and stairs with a new front porch that spans with the width of their existing house. This porch addition is being done to compliment a large addition to the rear of the house. The porch will update and modernize the existing house and provide needed curb appeal. The current vestibule and stairs encroach into the front yard setback. Without this variance, the house will appear disjointed as it will have a large rear addition with a small, outdated front entryway, and the Applicant could not yield a reasonable return on its investment.

CRITERIA NO. 2: The plight of the owner is due to unique circumstances.

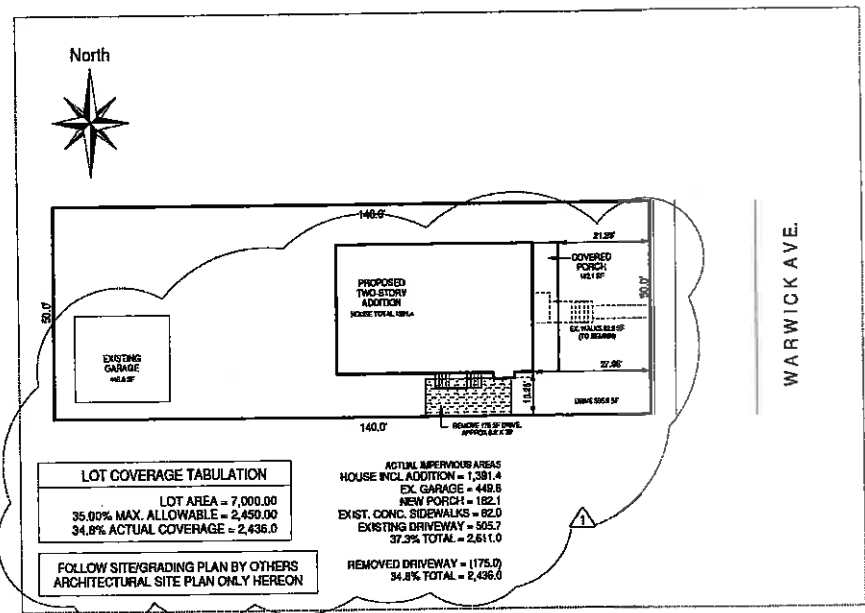
FINDINGS OF FACT: The house is eligible for a 25' front yard setback, given the setbacks of neighboring houses. The current entry vestibule and stairs encroach into the 25' front yard setback, and the new front porch will encroach only 3.1' more than the existing entry vestibule and stairs. Property to the immediate south has a front yard setback of 16', and property across the street has a front yard setback of 19.4'. The Applicant could make no front porch improvements to its home without a variance due to the existing encroachment.

CRITERIA NO. 3: The variation, if granted, will not alter the essential character of the locality.

FINDINGS OF FACT: Surrounding properties have similar front yard setbacks, and the proposed front porch is consistent with the surrounding setbacks. The proposed front porch will enhance the character of the neighborhood and will compliment the addition to the rear of the house. The proposed front porch and related improvements will not cause undue stormwater problems, line of sight, or other problems for adjacent property owners.



LEFT SIDE ELEVATION
SCALE: 1/4" = 1' 0"



LOT COVERAGE TABULATION

LOT AREA = 7,000.00
35.00% MAX. ALLOWABLE = 2,450.00
34.8% ACTUAL COVERAGE = 2,436.0

ACTUAL IMPERVIOUS AREAS
HOUSE INCL. ADDITION = 1,381.4
EX. GARAGE = 449.8
NEW PORCH = 182.1
EXIST. CONC. SIDEWALKS = 82.0
EXISTING DRIVEWAY = 505.7
37.3% TOTAL = 2,611.0

REMOVED DRIVEWAY = 175.0
34.8% TOTAL = 2,436.0

SITEPLAN
SCALE: 1" = 20' 0"

2015 IECC RESIDENTIAL ENERGY EFFICIENCY
IN STATE OF ILLINOIS AMENDMENTS

THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE WITH THE ILLINOIS STATE PUBLIC ACT 096-0778 AND THE ADOPTED 2015 IECC CODE. THE VALUES LISTED IN THIS BOOK ARE THE MINIMUM 2015 IECC RESIDENTIAL PRESCRIPTIVE REQUIREMENTS. FOLLOW THESE PLANS AND SECTIONS FOR EXACT SPECIFICATIONS THAT MEET OR EXCEED THE 2015 IECC REQUIREMENTS.

FOLLOW ALL REQUIRED IECC CHAPTER 4 (WITHIN STATE OF ILLINOIS AMENDMENTS, EXCEPTED BUT NOT LIMITED TO THE FOLLOWING:

8401 GENERAL:

- SECTION 8401.01 THROUGH 8401.05
- SECTION 8401.06 THROUGH 8401.08
- SECTION 8401.09 THROUGH 8401.11
- SECTION 8401.12 THROUGH 8401.14
- SECTION 8401.15 THROUGH 8401.17
- SECTION 8401.18 THROUGH 8401.20
- SECTION 8401.21 THROUGH 8401.23
- SECTION 8401.24 THROUGH 8401.26
- SECTION 8401.27 THROUGH 8401.29
- SECTION 8401.30 THROUGH 8401.32
- SECTION 8401.33 THROUGH 8401.35
- SECTION 8401.36 THROUGH 8401.38
- SECTION 8401.39 THROUGH 8401.41
- SECTION 8401.42 THROUGH 8401.44
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- SECTION 8401.90 THROUGH 8401.92
- SECTION 8401.93 THROUGH 8401.95
- SECTION 8401.96 THROUGH 8401.98
- SECTION 8401.99 THROUGH 8402.01

8402 BUILDING THERMAL ENVELOPE:

CLIMATE ZONE	WINDOWS		GLAZED		CEILING		WOOD		MASONRY		FLOOR		FOUNDATION		GARAGE	
	U-FACTOR	SHADING COEFFICIENT	U-FACTOR	SHADING COEFFICIENT	U-FACTOR	SHADING COEFFICIENT	U-FACTOR	SHADING COEFFICIENT	U-FACTOR	SHADING COEFFICIENT	U-FACTOR	SHADING COEFFICIENT	U-FACTOR	SHADING COEFFICIENT	U-FACTOR	SHADING COEFFICIENT
1	0.29	0.52	0.29	0.52	0.08	0.08	0.08	0.08	0.08	0.08	0.08	0.08	0.08	0.08	0.08	0.08

8403 MECHANICAL SYSTEMS:

8403.1 MECHANICAL SYSTEMS (HEATING, VENTILATION AND AIR CONDITIONING) SHALL BE PROVIDED FOR EACH SEPARATE HEATING AND COOLING SYSTEM.

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BUILDING DEPARTMENT NOTE:

THIS DRAWING HAS BEEN PREPARED FOR USE ON THE PROJECT NOTED AND REPRODUCTION IN PART OR WHOLE IS PROHIBITED UNLESS AUTHORIZED IN WRITING BY S.G. ARCHITECTS, INC.

OWNER/CONTRACTOR ASSUME ALL LIABILITY IN CONNECTION WITH THE USE OF THESE DOCUMENTS AND THE INFORMATION CONTAINED HEREON.

S.G. ARCHITECTS, INC. IS NOT RESPONSIBLE FOR METHODS OF CONSTRUCTION OR ADVERTENT ERRORS OR OMISSIONS.

THIS DRAWING IS VALID FOR PERMIT ONLY WHEN SEAL IS APPLIED AND IS INTENDED FOR CONSTRUCTION OF ONE BUILDING ONLY.

GENERAL NOTE:

SUBSTITUTION FROM LUMBER GRADES DESIGNATED HEREON MUST BE APPROVED BY THE ARCHITECT PRIOR TO CONSTRUCTION.

ARCHITECT'S FEES INCURRED DO TO FAILURE TO COMPLY WILL BE THE RESPONSIBILITY OF APPROPRIATE CONTRACTOR.

RESIDENTIAL APPLICABLE BUILDING CODES

THE DRAWINGS AND SPECIFICATIONS HEREON HAVE BEEN PREPARED IN ACCORDANCE WITH THE VILLAGE OF WESTMONT, ILLINOIS AND AMENDMENTS AS LISTED BELOW.

- INTERNATIONAL RESIDENTIAL CODE, 2012 EDITION
- INTERNATIONAL MECHANICAL CODE, 2012 EDITION
- INTERNATIONAL FIRE CODE, 2012 EDITION
- INTERNATIONAL FUEL AND GAS CODE, 2012 EDITION
- INTERNATIONAL PROPERTY MAINTENANCE CODE, 2012 EDITION
- ILLINOIS PLUMBING CODE, 2014 EDITION
- NATIONAL ELECTRICAL CODE (NEC), 2011 EDITION
- IECC ENERGY CODE 2015 EDITION AS AMENDED BY STATE OF ILL.
- VILLAGE OF WESTMONT CODES AND ORDINANCES.

S.G. Architects, Inc.
ARCHITECTS-PLANNERS

1401 BRANDING, SUITE 270
DOWNERS GROVE, IL 60515
PH: 630.969.8279
FAX: 630.969.9552

BUILDING DEPARTMENT NOTE

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SHOULD ONLY IF SCHEDULED PERMITS IN BLUE INK

S.G. ARCHITECTS, INC.
1810 S. WILSON AVE., PRINCETON, IL 61850
PH: 618.682.2279
FAX: 618.682.2279

PROJECT:

**WALSH RESIDENCE
ADDITION/REMODEL**

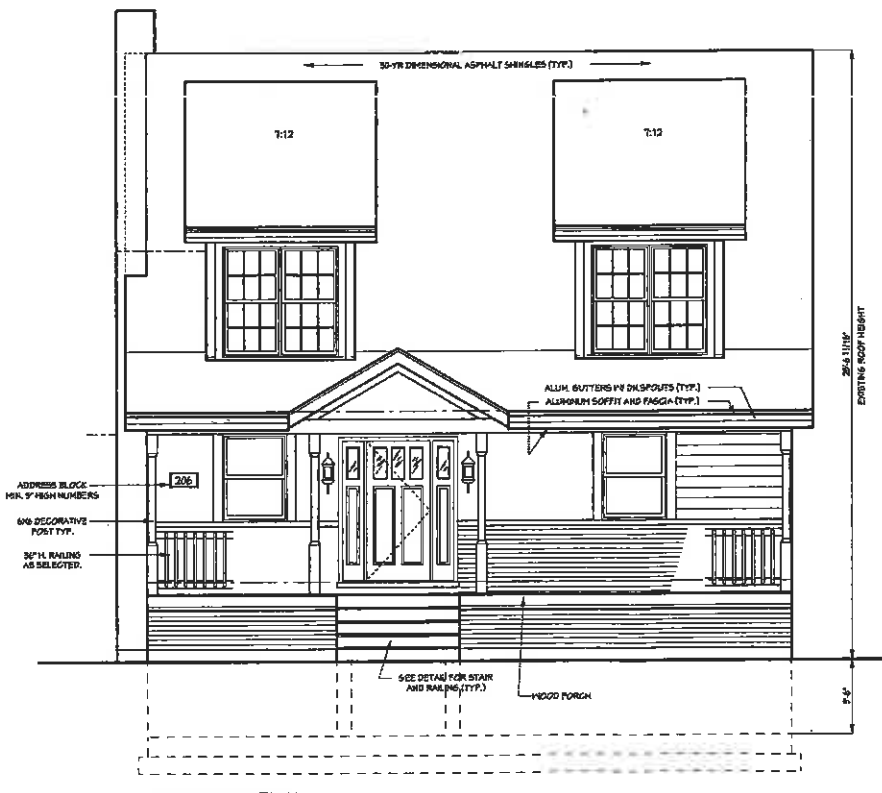
206 S. WARWICK
WESTMONT, IL.

BENSON'S REMODELING

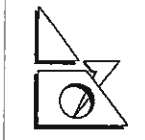
NO.	DATE	BY
01	03-15-18	SLG
02	03-15-18	SLG
03	03-15-18	SLG
04	03-15-18	SLG
05	03-15-18	SLG
06	03-15-18	SLG
07	03-15-18	SLG
08	03-15-18	SLG
09	03-15-18	SLG
10	03-15-18	SLG
11	03-15-18	SLG
12	03-15-18	SLG
13	03-15-18	SLG
14	03-15-18	SLG
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47	03-15-18	SLG
48	03-15-18	SLG
49	03-15-18	SLG
50	03-15-18	SLG

JOB NO. 18017
DATE: 03-15-18
DRAWN BY: SLG
SCALE: AS NOTED

SHEET NO. 1 OF 7
SITEPLAN - FRONT ELEVATION - LEFT SIDE ELEV.



FRONT ELEVATION
SCALE: 1/4" = 1' 0"



S.G. Architects, Inc.
ARCHITECTS-PLANNERS

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DOWNERS GROVE, IL 60515
PH: 630.969.9273
FAX: 630.969.0692

BUILDING DEPARTMENT NOTE

THESE ADDENDUMS TO THE SPECIFICATIONS ARE VALID FOR PERMITS ONLY. THE ARCHITECTS DESIGN, SPEC. AND SCHEDULES APPLICABLE TO THIS PROJECT ARE OTHERWISE PACKAGED IN THE PERMIT PACKAGE. ALL PERMITS MUST BE OBTAINED FROM THE BUILDING DEPARTMENT FOR ONE (1) YEAR FROM DATE OF ISSUANCE.

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UNLESS OTHERWISE SPECIFIED, ALL MATERIALS SHALL BE AS SHOWN.

STEPHEN L. DUNN, LICENSED ARCHITECT
No. 001-00000000-0000-0000-0000-000000000000
DATE: 03-16-18

PROJECT:

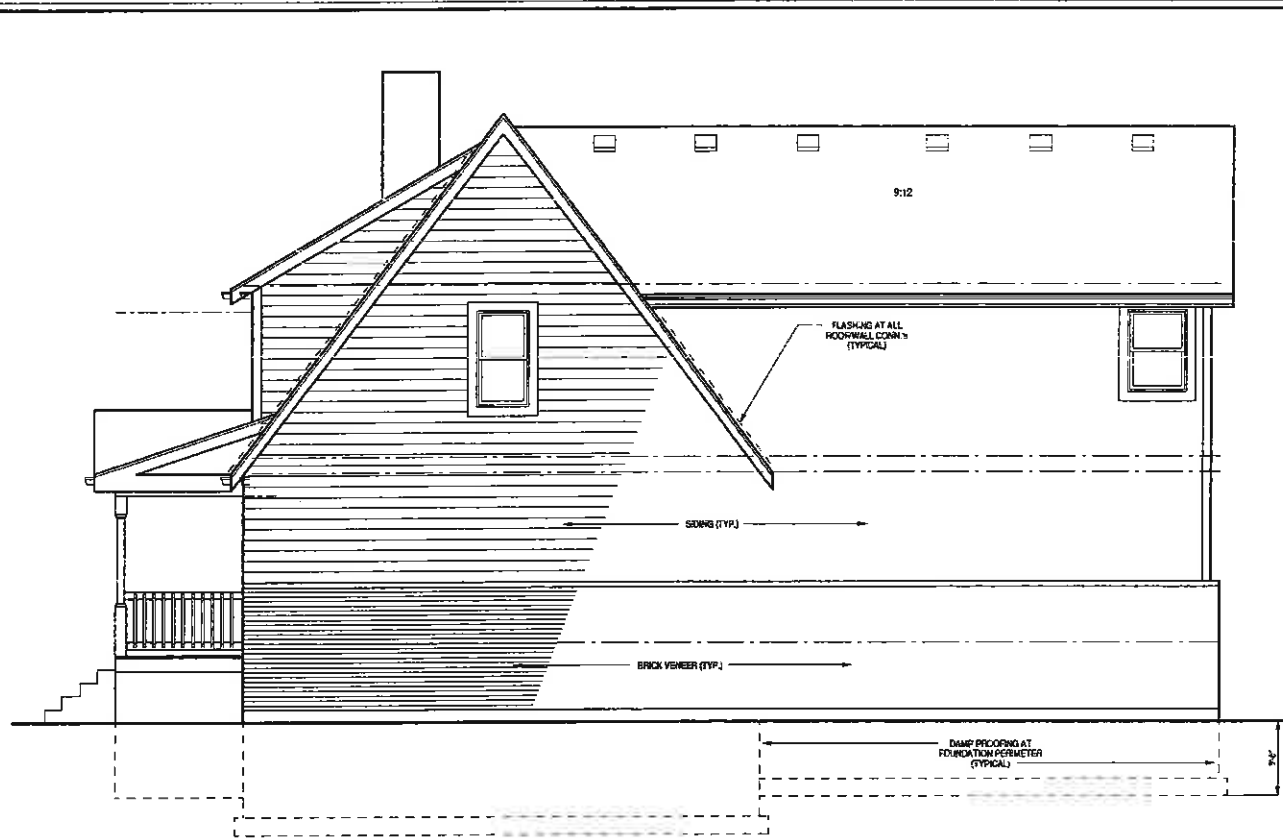
WALSH RESIDENCE
ADDITION/REMODEL

206 S. WARWICK
WESTMONT, IL

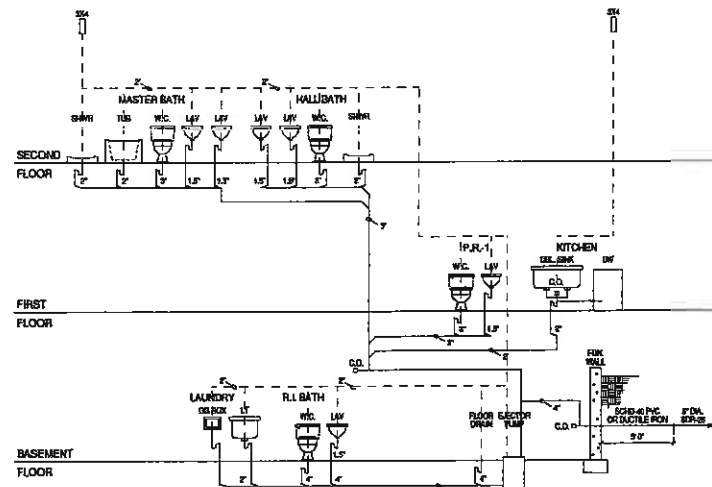
BENSON'S REMODELING

NO.	DATE	ISSUES AND REVISIONS	BY
	03-16-18	PRELIMINARY CONCEPT	SLG
	03-28-18	PRELIMINARY	SLG
	04-14-18	PERMIT	SLG
	05-04-18	REV. PERMIT	SLG

JOB NO.	18017
DATE	03-16-18
DRAWN BY:	SLG
SCALE:	AS NOTED
SHEET NO.	2
OF	7

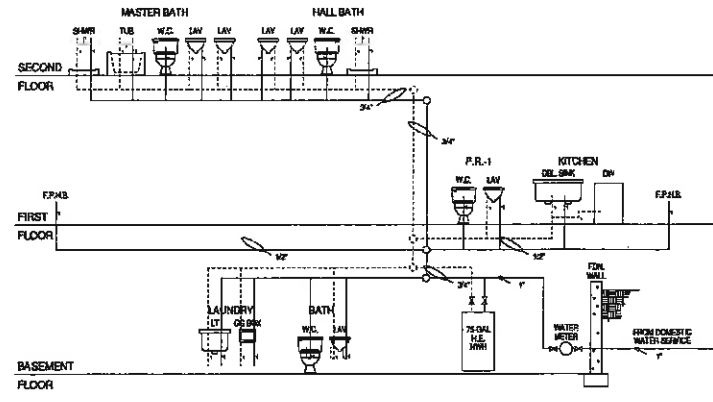


RIGHT SIDE ELEVATION
SCALE: 1/4" = 1' 0"



WASTE PIPING LINES
NO SCALE

- ALL MATERIALS AND INSTALLATIONS TO BE IN ACCORDANCE WITH THE ILLINOIS PLUMBING CODE AND ALL LOCAL CODES AND AMENDMENTS.
- PERMITS ON CONCRETE SHALL BE IN P.V.C. CAST IRON OR OTHER APPROVED MATERIAL.
- SELECTION SHALL BE MADE TO PROVIDE AIR TIGHT COVER.
- P.V.C. SHALL BE USED FOR ALL WASTE PIPING UNLESS OTHERWISE NOTED.
- CONNECT ALL PIPING WITH PURPLE BRUSHED POLYETHYLENE PIPE.
- PROVIDE STACK TEST AS REQUIRED BY INSPECTION PROCESS.



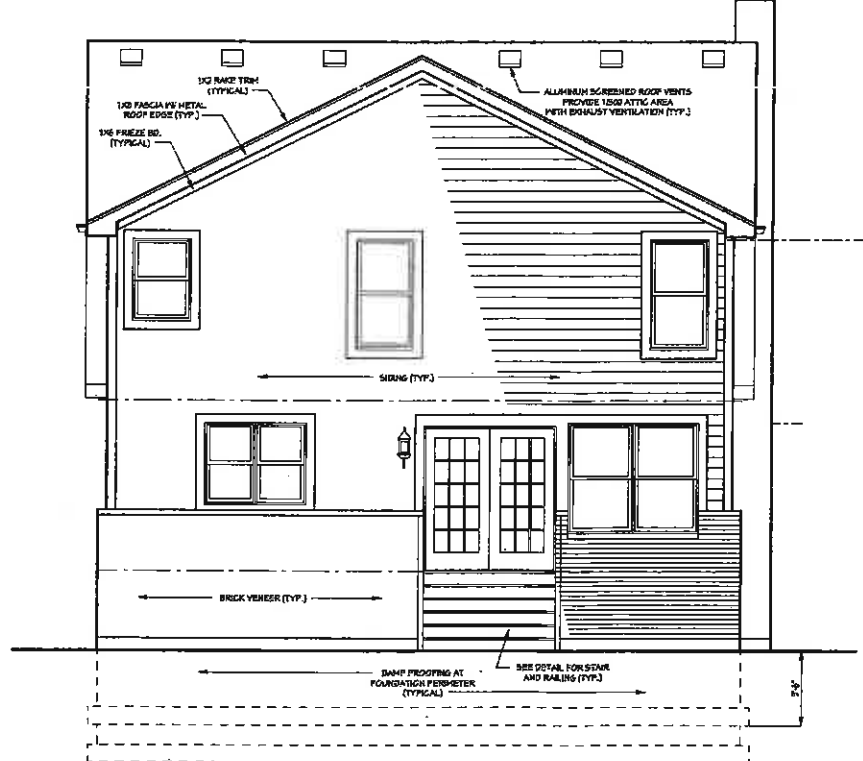
WATER SUPPLY LINES
NO SCALE

- ALL MATERIALS AND INSTALLATIONS TO BE IN ACCORDANCE WITH THE ILLINOIS PLUMBING CODE, ILLINOIS PLUMBING CODE, AND ALL LOCAL CODES AND AMENDMENTS.
- ALL WATER LINES TO BE TYPE 1/2" COPPER PIPE UNLESS OTHERWISE NOTED.
- SEE PLUMBING SCHEDULE FOR SERVICE SIZE.
- 1/2" SCHED 40S BLACK STEEL FOR GAS PIPING.
- 1/2" FEMALE BRASS, 1/2" AIR CHAMBERS.
- WATER HEATERS TO HAVE PRESSURE RELIEF VALVES.
- PROVIDE SILENT FEET UNDER ALL FIXTURES.
- PROVIDE AUTO SAFETY MOUNT VALVES AT TURBOWHEELS (UNLESS OTHERWISE NOTED).
- PROVIDE CITY PROMOTE METER READER ACCESS.
- PROVIDE INTERIOR SHUT OFF VALVES AT ALL LOCATIONS.
- PROVIDE THERMAL EXPANSION TANK AT COLD WATER INLET TO EACH HOT WATER HEATER (AS REQ'D).

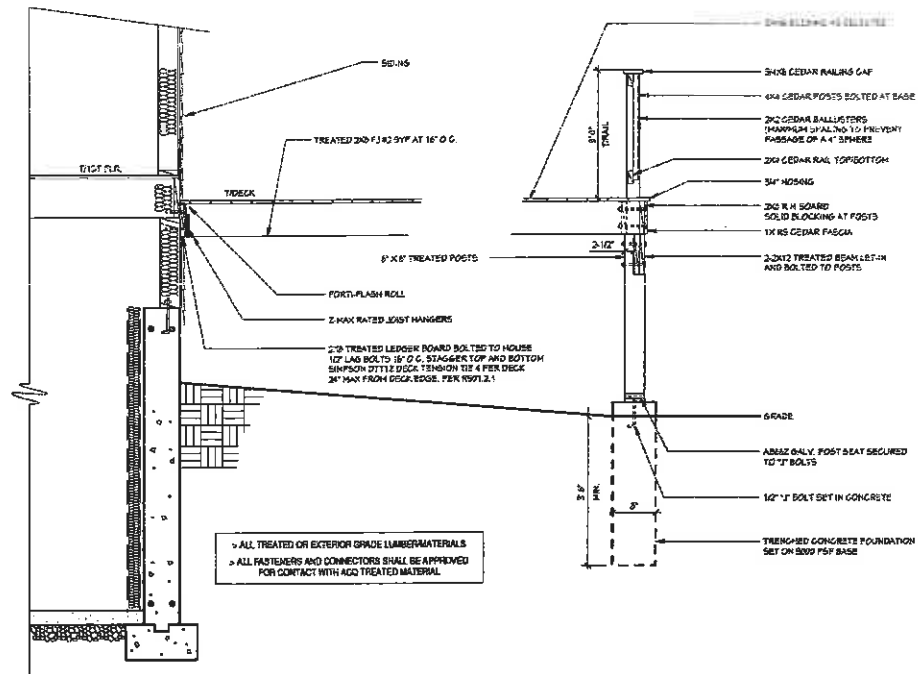
BATH TYPE	FIXTURES	UNITS
RESIDENTIAL BATH	1 SINK, 1 TUB	4
EX. LAUNDRY	WASHER, LAUNDRY TUB	5
KITCHEN	SINK, DISHWASHER	3
PORCELAIN TOILET	1 SINK, 1 SEAT	4
NEW MASTER BATH	SINK, TUB, SHOWER, TUB	4
REMODELED HALL BATH	SINK, TUB, SHOWER	7
TOTAL		27

DRAINAGE WATER SERVICE REQUIRED = 1" PER VILLAGE OF WESTMONT, IL

FIXTURE UNITS	1/2" SCHED 40S BLACK STEEL	1/2" SCHED 40S BLACK STEEL
TOILET	1.00	1.00
WASHER	1.00	1.00
LAUNDRY TUB	1.00	1.00

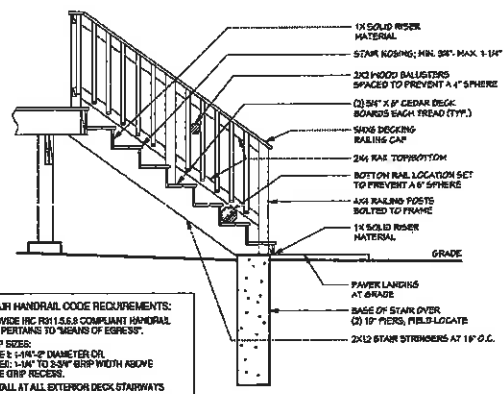


REAR ELEVATION
SCALE: 1/4" = 1' 0"



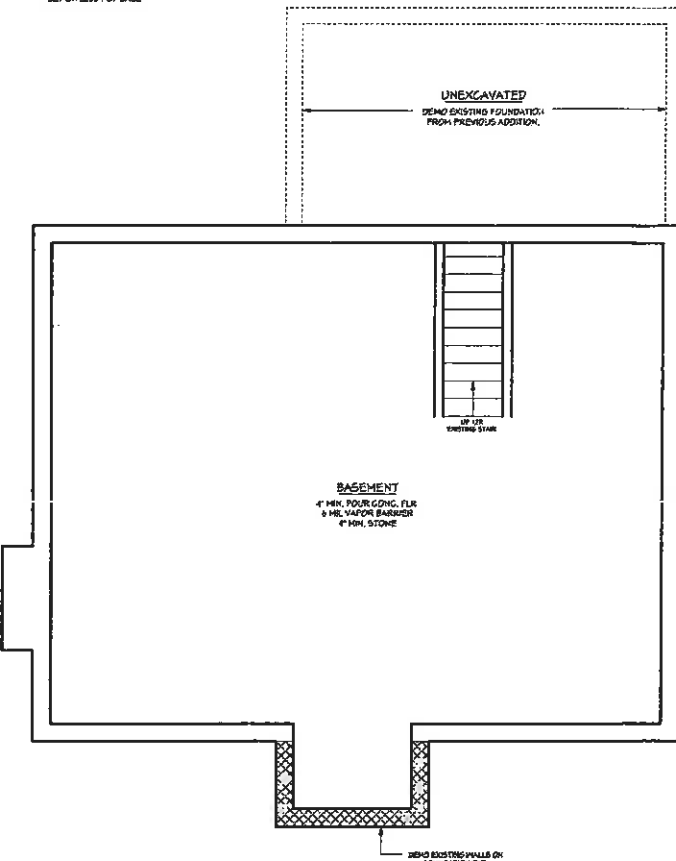
LANDING SECTION

ALL TREATED OR EXTERIOR GRADE LUMBER MATERIALS
ALL FASTENERS AND CONNECTORS SHALL BE APPROVED FOR CONTACT WITH AGED TREATED MATERIAL



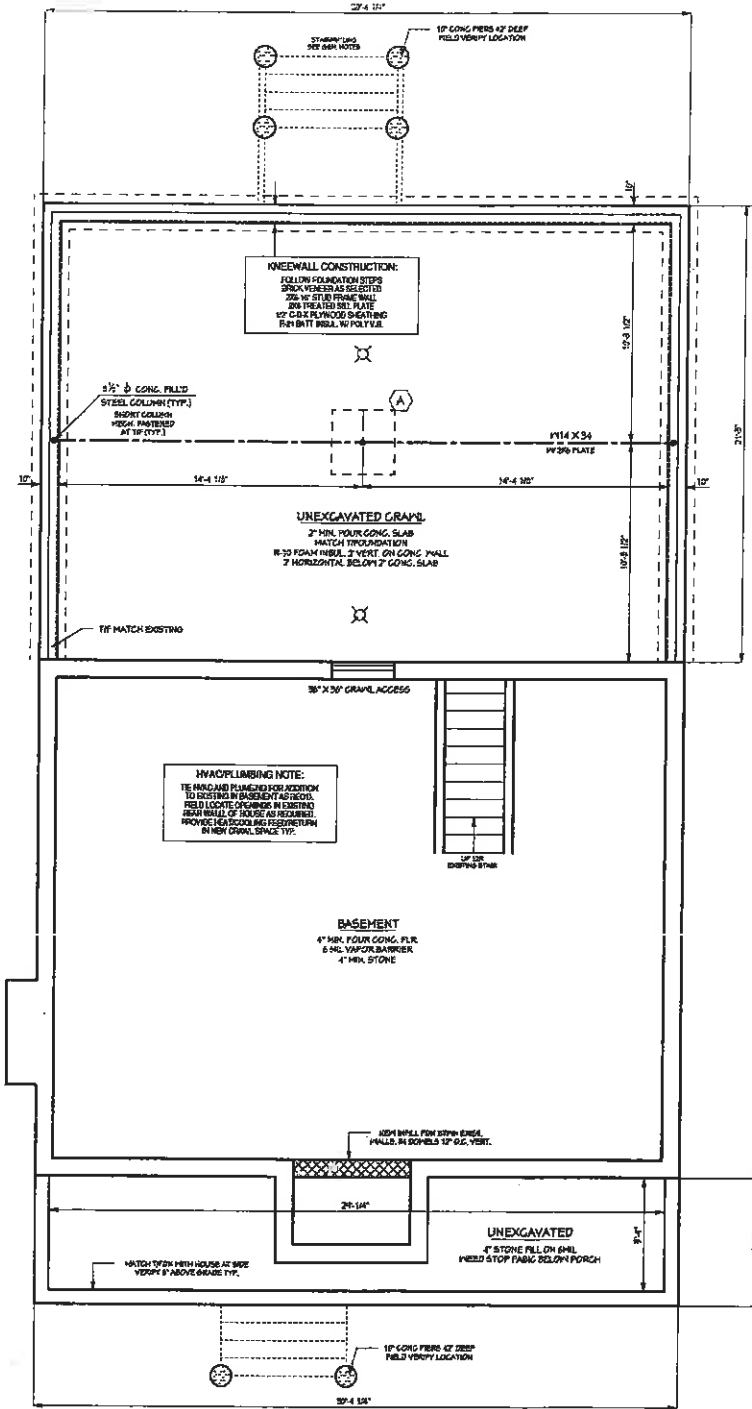
TYPICAL WOOD STAIR SECTION

SCALE: 3/8" = 1' 0"



FOUNDATION DEMO PLAN

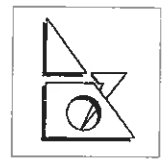
SCALE: 1/4" = 1' 0"



FOUNDATION PLAN / ADDITION

SCALE: 1/4" = 1' 0"

- 110V INTERCONNECTED SMOKE DETECTOR WITH BATTERY BACK-UP
- 110V INTERCONNECTED CARBON MONOXIDE DETECTOR WITH BATTERY BACK-UP
- 3\"/>



S.G. Architects, Inc.
ARCHITECTS-PLANNERS

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PH: 630.989.8279
FAX: 630.989.8682

BUILDING DEPARTMENT NOTE

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SHOULD ONLY IF SIGNATURE APPEARS IN BLUE INK
S.G. ARCHITECTS, INC.
STEPHEN G. GARDNER, PRESIDENT
No. 04-0000000-0000-0000-0000-0000-0000
CORPORATE LICENSE
No. 104-00000000-0000-0000-0000-0000

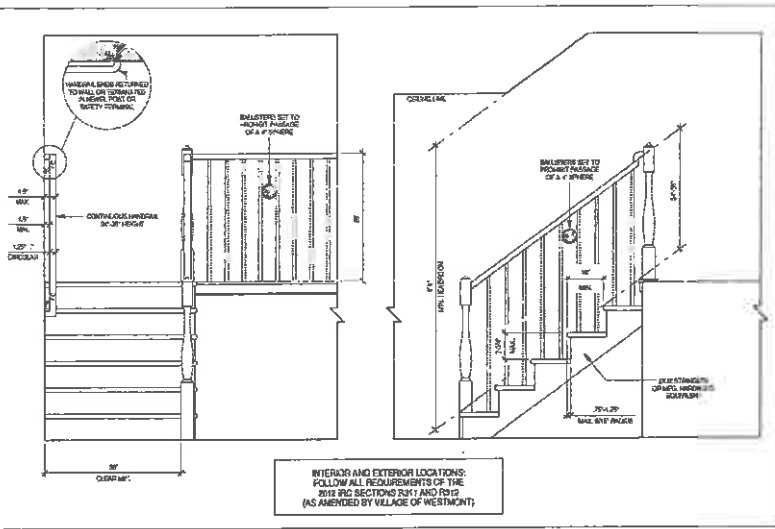
PROJECT:
**WALSH RESIDENCE
ADDITION/REMODEL**

206 S. WARMICK
WESTMONT, IL

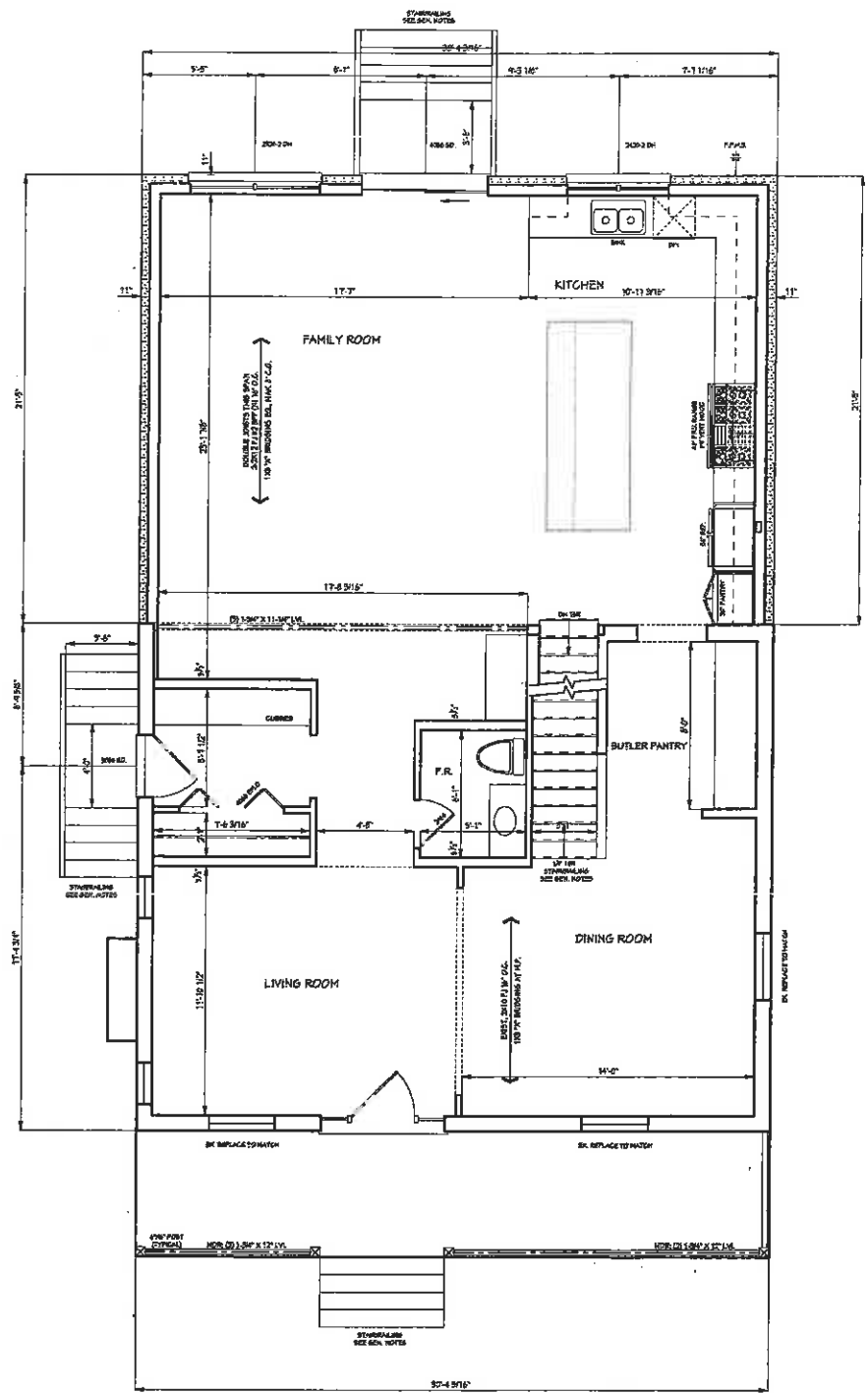
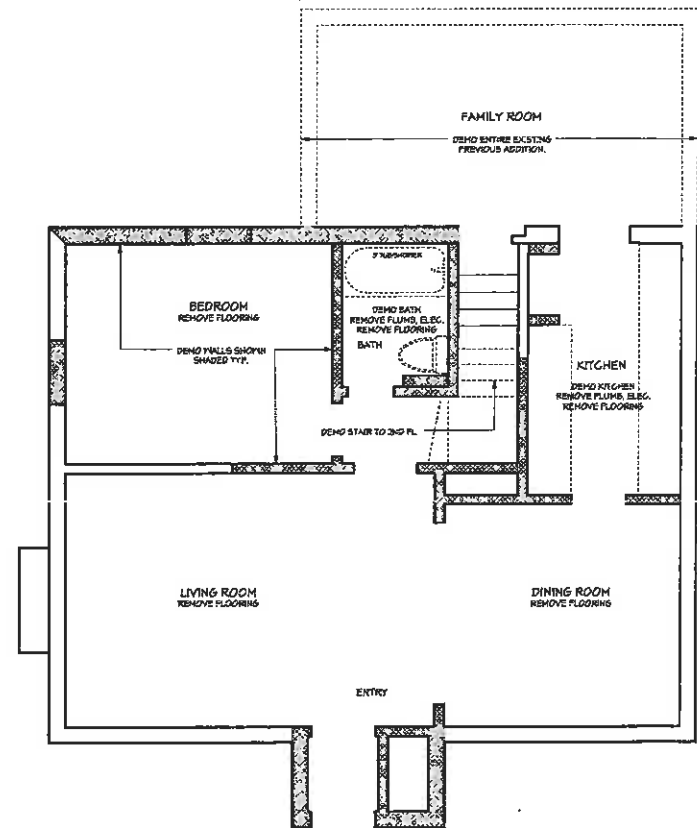
BENSON'S REMODELING

NO.	DATE:	BY:
	ISSUE AND REVISIONS:	
	02-18-18	SLG
	PRELIMINARY CONCEPT	SLG
	03-08-18	SLG
	PRELIMINARY	SLG
	04-14-18	SLG
	PERMIT	SLG
	08-08-18	SLG
	REV. PERMIT	

JOB NO.	18017
DATE:	03-16-18
DRAWN BY:	SLG
SCALE:	AS NOTED
SHEET NO.	3
FOUNDATION PLAN FOUNDATION DEMO PLAN SECTIONS	OF 7



STAIR/RAILING DETAILS
SCALE: 1/2" = 1'-0"



OVERALL AREA TABULATION
GROSS SOURCE FOOTAGE, NOT INCL. GARAGE, DECK, STAIRS, OPEN SPACES

FIRST FLOOR	= 1384.5
SECOND FLOOR	= 1231.5
TOTAL SQ. FT.	= 2616.1

GLAZING NOTE
GLASS SIZES SHOWN HEREON ARE DESIGNATED IN GENERAL GLASS SIZES. SELECTED WINDOW SIZES SHALL VERIFY EGRESS AND TEMPERED GLASS LOCATIONS AND REQUIREMENTS.

S.G. Architects, Inc.
ARCHITECTS-PLANNERS

1401 BRANDING, SUITE 270
DOWNERS GROVE, IL 60515
PH. 630.999.8279
FAX 630.999.0882

BUILDING DEPARTMENT NOTE
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PROVIDE ONLY IF SIGNATURE APPEARS IN BLUE INK
S.G. ARCHITECTS, INC.
2575 W. 111th ST., WESTMONT, IL 60559
CORPORATE LICENSE NO. 100-000001537, 04-28-18

PROJECT:
WALSH RESIDENCE
ADDITION/REMODEL

206 S. WARWICK
WESTMONT, IL

BENSON'S REMODELING

NO.	DATE	BY
03-16-18	SLG	
PRELIMINARY CONCEPT	SLG	
03-28-18	SLG	
PRELIMINARY	SLG	
04-14-18	SLG	
PERMITS	SLG	
05-09-18	SLG	
REV. PERMIT		

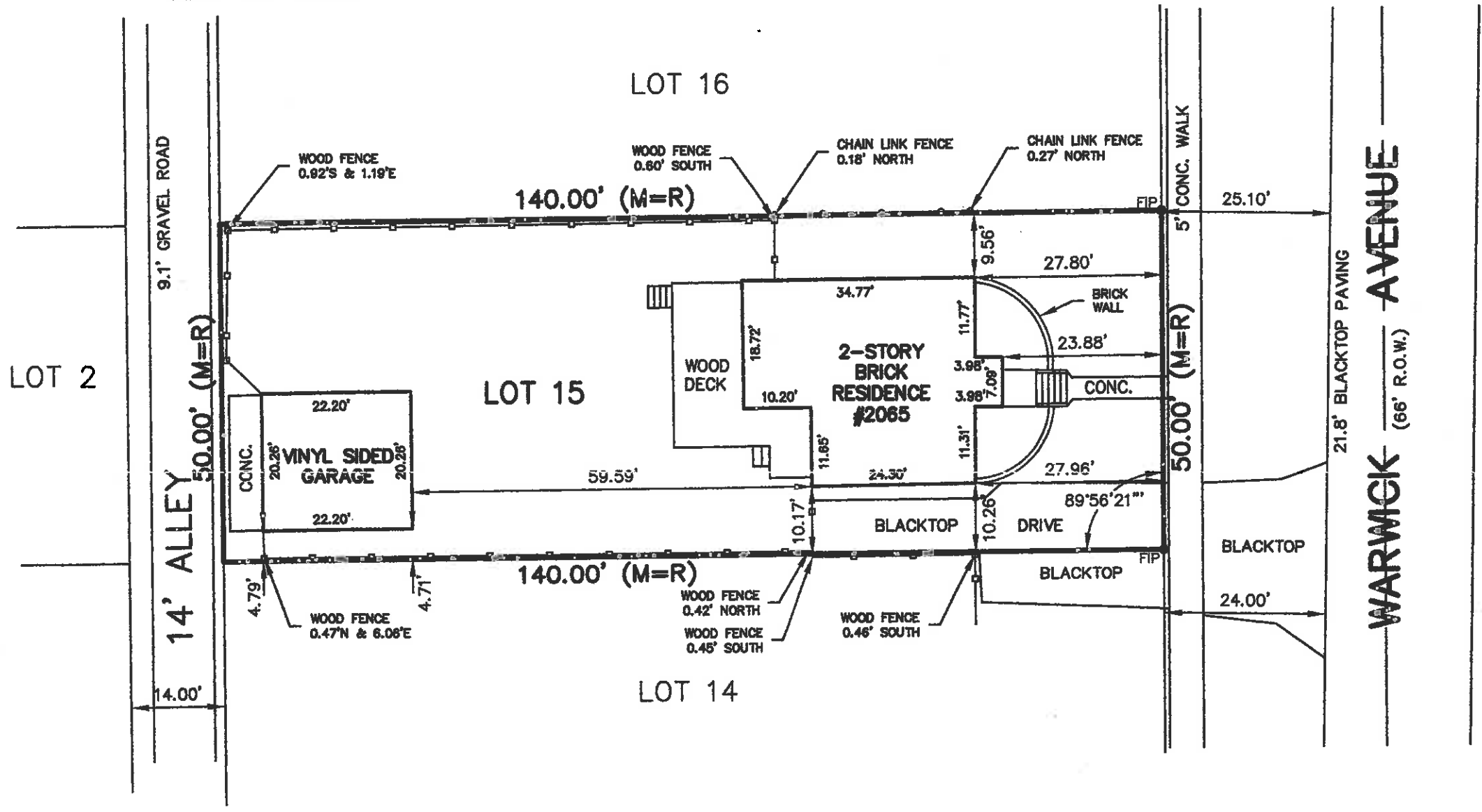
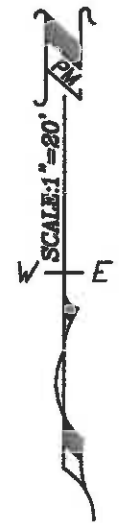
JOB NO. 18017
DATE: 03-16-18
DRAWN BY: SLG
SCALE: AS NOTED

SHEET NO. 4
FIRST FLOOR PLAN
ADD DEMO PLAN
DETAILS
OF 7

PLAT OF SURVEY

LOT 15 IN BLOCK 4 IN BARBARA DUDEK'S RESUBDIVISION, BEING A RESUBDIVISION OF LOTS 26 TO 30 INCLUSIVE, 33 TO 37 INCLUSIVE, AND THE SOUTH 260.73 FEET OF LOTS 31 AND 32, ALL IN BLOCK 3 IN ARTHUR T. MCINTOSH'S FAIRMONT PARK SUBDIVISION, ALSO LOTS 10, 11, 12 AND 13 OF REITMAYER'S RESUBDIVISION, ALL BEING A PART OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 10, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID BARBARA DUDEK'S RESUBDIVISION, RECORDED FEBRUARY 10, 1928 AS DOCUMENT 251754, IN DUPAGE COUNTY, ILLINOIS.

ADDRESS: 206 S. WARWICK AVENUE, WESTMONT
 PIN: 09-10-311-010
 AREA: 0.16 ACRES



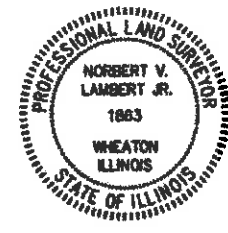
INOIS } s.s.
 U PAGE }

CERTIFY THAT I, AN ILLINOIS LAND SURVEYOR, HAVE THE PROPERTY DESCRIBED ABOVE AND THAT THE PLAT IS A CORRECT REPRESENTATION OF SAID SURVEY. COMPLETION DATE: 04/23/2018.

PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS STANDARDS FOR A BOUNDARY SURVEY.

BY MY HAND AND SEAL AT WHEATON, ILLINOIS, DAY OF APRIL, A.D., 2018.

Norbert V. Lambert Jr.
 LAND SURVEYOR NO. 1863; LICENSE EXPIRES 11/30/18
 PIN FIRM NO. 184-007260



LICENSE EXPIRES 11/30/18
 Norbert V. Lambert Jr

SEE LIST OF GUARANTEE POLICY FOR RESTRICTIONS

ORDERED BY: BENSON REMODELING ORDER NO. 18 D 63 FILE NO. 180176

LAND SURVEYING AND CIVIL ENGINEERING	
LAND TECHNOLOGY 955 W. LIBERTY DR WHEATON, IL 60187 P: (630)653-6331	LAND TECHNOLOGY 3922 W. MAIN STREET McHENRY, IL 60050 P: (815)363-9200