



Village Board Meeting June 9, 2016 6:00 p.m.

1. Call To Order

2. Roll Call

3. Pledge Of Allegiance

4. Open Forum

Participants are advised that the Open Forum procedure is a privilege and should not be abused. Upon completing an Open Forum request form and submitting it to the Village Clerk before the commencement of the meeting, participants will be recognized and given a chance to speak. The time limit to speak is 3 minutes. If deemed necessary by the Village Board, the matter may be referred to Village Staff or may be placed on a future agenda for Board consideration.

All participants are expected to exercise common courtesy and follow any rules of order established or announced by the Village Board and/or Mayor. Candidates for local public office may not use this forum for campaign purposes.

5. Reports

a. Board Reports

- Mayor
- Clerk
- Attorney
- Manager
- Trustees

*Background Of
Subject Matter*

*

Type

Discussion Only

6. Items To Be Removed From Consent Agenda

7. Consent Agenda (Omnibus Vote)

a. Village Board Minutes

i. Board Meeting Minutes

Board to consider approving the minutes of the Village Board meeting held May 26, 2016.

*Background Of
Subject Matter*

Required parliamentary procedure.

Type

Motion

b. **Finance Ordinance**

i. **Finance Ordinance # 3**

Total to be announced at the meeting.

<i>Background Of Subject Matter</i>	*
<i>Type</i>	Motion

c. **Purchase Orders**

i. **PO 11039096**

Global Emergency Products \$7,814.26

<i>Background Of Subject Matter</i>	Maintenance & Repairs on Fire Truck 1839
<i>Additional Background</i>	Payment is included in the finance ordinance, which will be approved simultaneously with this purchase order.
<i>Type</i>	Purchase Order
<i>Budgeted</i>	No
<i>Budgeted Explanation</i>	This FY 2016 expense is to the Fire vehicle repair accounts, which exceeded the budget in FY 2016

Documents: [PO 11039096.PDF](#)

ii. **PO 11039146**

Janus Gardens \$2,064.00

<i>Background Of Subject Matter</i>	Additional Cost for Downtown Hanging Baskets. Payment is included in the finance ordinance, which will be approved simultaneously with this purchase order.
<i>Additional Background</i>	The Board previously approved a PO in the amount of \$9,471.00 based on a quoted price for 216 baskets. The actual order was for 260 baskets and costs \$11,535. Because the difference in cost exceeds 10%, the additional amount is submitted for approval.
<i>Type</i>	Purchase Order
<i>Budgeted</i>	Yes

Documents: [PO 11039146.PDF](#)

iii. **PO 11039133**

SHI International \$7,949.17

<i>Background Of Subject Matter</i>	Virtual Desktop Licensing
<i>Type</i>	Purchase Order
<i>Budgeted</i>	Yes

Documents: [PO 11039133.PDF](#)

iv. **Total Of Purchase Orders**

\$17,827.43

Background Of Subject Matter *

Type Purchase Order

d. **Total Of Purchase Orders And Finance Ordinance**

Total to be announced at the meeting.

Background Of Subject Matter *

Type Motion

e. **Community Events**

i. **2016 Reclaim 13 5K Run-Walk**

Board to consider an ordinance approving the following requests for the 2016 LOVE>FEAR 5K fundraiser for Reclaim 13 to be held on August 20, 2016:

1. Community Events Permit
2. Live Amplified Sound Permit
3. Various temporary street closures during 5K race

Background Of Subject Matter This event is basically a continuation of last year's Color Run 5K fundraiser for Reclaim 13. The race will follow the same route as the Race To The Flag 5K.

Recommendation Staff recommends approval.

Type Ordinance

Documents: [COMMUNITY EVENTS PERMIT REQUEST FORM - 2016 RECLAIM13 - 5K RUN-WALK.PDF](#)

ii. **Westmont Park District - 4th Of July Celebration**

Board to consider an ordinance permitting the following in regards to the 2016 Independence Day Celebration at Ty Warner Park:

1. An amplified sound permit request.
2. A Special Event Liquor License Fee Waiver for the Westmont Park District.
3. A special events traffic plan using various one-ways and street closures around Ty Warner Park from 6 a.m. to 10:30 p.m. or until the public has dispersed after the fireworks presentation.

Background Of Subject Matter The Westmont Park District will sell beer and wine from 3 - 10pm.

Additional Background The Class 11 special event liquor license fee is \$100.00.

Recommendation Staff recommends approval.

Type Ordinance

Documents: [2016 4TH OF JULY COMMUNITY EVENTS PERMIT REQUEST FORM.PDF](#)

8. **Unfinished Business**

9. **New Business**

a. **Commissioner Reappointment - Planning And Zoning**

Board to consider a motion to approve the Mayor's reappointment of Craig Thomas to the Planning and Zoning Commission.

Background Of Subject Matter Mr. Thomas has been a P&Z Commissioner since 2001, with 15 years of service to the Village. The term for the P&Z Commission is 5 years.

Type Motion

b. **Commissioner Reappointment - Board Of Fire And Police Commissioners**

Board to consider a motion to approve the Mayor's reappointment of Vince Musial to the Board of Fire and Police Commission.

Background Of Subject Matter Commissioner Musial has served on the board since 2007. The Planning & Zoning Commission term is 3 years.

Additional Background Commissioner Musial is a retired Westmont Police Officer.

Type Motion

c. **230 S Cass Avenue - Duplex Building**

Board to consider an ordinance approving the following requests from SKE Property Investments for the following:

1. Zoning Code Variance request for relief from the minimum square feet per building in a R-4 General Residence District.
2. Zoning Code Variance request for relief from the maximum allowable density in a R-4 General Residence District.
3. Site and Landscaping Plan approval to build a new single-family semi-detached dwelling.
4. Preliminary Plat of Subdivision request to split one lot into two buildable lots in the R-4 General Residence District.

Background Of Subject Matter The proposal was continued at the March PZC hearing so the applicant could work on a subdivision & the lots could be sold rather than rented. Applicant made appropriate changes & answered questions from the public regarding engineering & lot lines.

Recommendation Planning & Zoning Commission made a unanimous positive recommendation and noted that the variances were in keeping with nearby properties on Cass Avenue.

Type Ordinance

Documents: [230 S CASS AVE- DUPLEX - PZC PACKET.PDF](#), [2016-05-11 MEETING MINUTES - PZC - 230 S CASS EXCERPT.PDF](#)

d. **200 N Linden Avenue - J.T. Manning Elementary School**

Board to consider an ordinance approving the following requests from Cashman Stahler Group, Inc. regarding improvements at J.T. Manning Elementary School for the following:

1. Zoning Code Variance request for relief from the maximum allowable Floor Area Ratio (FAR) in the R-3 Single Family Detached Residence District.
2. Zoning Code Variance request for relief from the maximum allowable Lot Coverage in the R-3 Single Family Detached Residence District.

3. Site and landscaping approval to construct a building addition.

Background Of Subject Matter	The school is requesting variances and site & landscaping plan approval to build an exterior secured vestibule addition of 171 square feet.
Recommendation	Planning & Zoning Commission made a unanimous positive recommendation on 5/11 after clarifying several site plan items. The Commission complimented the school on the safety improvements, collaboration and presentation.
Type	Ordinance

Documents: [200 N LINDEN - MANNING - PZC PACKET.PDF](#), [2016-05-11 DRAFT MEETING MINUTES - PZC - MANNING SCHOOL EXCERPT.PDF](#)

e. **Purchase Of Real Estate**

Board to consider an ordinance approving a real estate contract for the purchase of 6101 S. Cass Avenue by the Village.

Background Of Subject Matter	The Village has negotiated a real estate contract to purchase 6101 S. Cass Avenue as part of the Village's efforts to mitigate stormwater issues in the area.
Additional Background	The ordinance approves the contract and authorizes the Village Manager and Village Attorney to take the necessary steps to close the transaction.
Recommendation	Approve. The purchase is for a proper public purpose.
Type	Ordinance
Budgeted	Yes

f. **Professional Engineering Services Agreement - ESI Consultants, Ltd.**

Board to consider an ordinance to approve an Engineering Agreement for Professional Services pertaining to Stormwater Review Services with ESI Consultants, Ltd.

Background Of Subject Matter	With the Village's Partial Waiver status, the Village is responsible for Stormwater review under the DuPage County Stormwater Ordinance. We are currently seeking to expand our list to include ESI Consulting, Ltd., Naperville.
Additional Background	ESI has executed the Village's standard agreement without changes.
Recommendation	Approve the agreement with ESI Consultants, Ltd.
Type	Ordinance
Budgeted	Yes

Documents: [PROFESSIONALENGINEERINGSERVICES-STORMWATER 2016.PDF](#)

10. **Miscellaneous**

11. **Executive Session**

This Board may adjourn to closed session to discuss matters so permitted and may act upon such matters upon returning to open session.

12. **Adjourn**

Note: Any person who has a disability requiring a reasonable accommodation to participate in the meeting should contact the ADA Compliance Officer, 9:00 A.M. to 5:00 P.M. Monday through Friday, Village of Westmont, Illinois, 60559; or telephone (630) 981-6210 voice, within a reasonable time before the meeting.

Clerk's Office
Village of Westmont

MINUTES OF THE BOARD MEETING HELD **Thursday, May 26th, 2016.**

Mayor Gunter called the meeting to order at **6:00 P.M.**

WESTMONT VILLAGE BOARD MEETING ROLL CALL:

PRESENT: Mayor Gunter P Clerk Szymiski P

TRUSTEES: Addington P Barker P
Barry P Guzzo P
Liddle P Nero P

STAFF:

May <u>P</u> (Village Mgr)	Parker <u>P</u> (Finance Director)	Ziegler <u>P</u> (Community Development Director)
Crane <u>A</u> (H.R. Director)	McIntyre <u>A</u> (Communication Director)	Liljeberg <u>A</u> (I.T. Manager)
Chief Mulhearn <u>P</u> (Police Dept.)	Dep. Chief Brenza <u>A</u> (Police Dept.)	Dep. Chief Gunther <u>A</u> (Police Dept.)
Chief Weiss <u>A</u> (Fire Dept.)	Dep. Chief Riley <u>P</u> (Fire Department)	Ramsey <u>P</u> (P.W. Director)
Dralle <u>A</u> (EMS Director)	Mielcarski <u>A</u> (Admin. Assistant)	Richards <u>A</u> (Deputy Clerk)

ATTORNEY: Zemenak P Perez A

A QUORUM WAS PRESENT TO TRANSACT BUSINESS.

PRESS:

Chicago Tribune A Independent: Daniel Smrokowski A
Bugle A

CHAMBER OF COMMERCE DIRECTOR: Forsberg - P

VISITORS: None.

THOSE PRESENT RECITED THE PLEDGE OF ALLEGIANCE.

OPEN FORUM:

- None.

VOTING KEY: A=ABSENT AB=ABSTAIN N=NO W=Withdrawn
P=PRESENT Y=YES V=VACATION

Note: *The items listed in these minutes are summaries only and are not meant to be a direct transcript of the Mayor's, Manager's, Clerk's and Trustees' comments. For actual quotes of the referenced items please refer to the Archival video copy of this meeting.*

VOTING SUMMARY

	<u>1</u>	<u>2</u>	<u>3</u>	<u>4</u>	<u>5</u>	<u>6</u>	<u>7</u>	<u>8</u>
TRUSTEE ADDINGTON	<u>Y</u>	<u>Y</u>	<u>N</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>
TRUSTEE BARKER	<u>Y</u>							
TRUSTEE BARRY	<u>Y</u>							
TRUSTEE GUZZO	<u>Y</u>							
TRUSTEE LIDDLE	<u>Y</u>							
TRUSTEE NERO	<u>Y</u>							
	<u>9</u>	<u>10</u>	<u>11</u>	<u>12</u>	<u>13</u>	<u>14</u>	<u>15</u>	<u>16</u>
TRUSTEE ADDINGTON	<u>Y</u>							
TRUSTEE BARKER	<u>Y</u>							
TRUSTEE BARRY	<u>AB</u>	<u>Y</u>						
TRUSTEE GUZZO	<u>Y</u>							
TRUSTEE LIDDLE	<u>Y</u>							
TRUSTEE NERO	<u>Y</u>							

REPORTS

Mayor Gunter

- Invited Larry Forsberg to the podium to give a recap of the Family Fun Fair at the Taiwanese Cultural Center. It was a great turn out and we look forward to next year. \$3,000 was raised for scholarships.
- The Memorial Day Parade will be Monday, May 30, 2016 at 10:30am. It will start out at Cass and 47th Street. There will be a ceremony followed by the parade.
- Julia Coen, Westmont Library Director, will be appointed to the 100th Anniversary Committee.
- Congratulated Amy Carlson, from Westmont High School, on two awards that she won down State.

Clerk Szymski:

- The Red, White, and BBQ starts this weekend. The hours are Friday 4pm - 10:30pm, Saturday 12pm - 10:30pm, and Sunday 12pm - 8:30pm. The Race to the Flag also is taking place on Sunday. The race begins at 9am and you can register the morning of the race. The proceeds will go to benefit People's Resource Center.
- Congratulations to Mayor Gunter on his retirement.

Attorney Zemenak

- Apologies, I may have to leave before the meeting is over.

Village Manager May

- Updated on street replacement in the Village and problems with garbage pick-up during this time.
- Addressed questions by Trustee Barry, who asked about safety where construction was going on.

Trustee Addington

- There is a free lunch or dinner for veterans from McCormick & Schmidt in Oak Brook on Memorial Day.
- The next Economic Development meeting will be held on June 1st at 9:00am.
- Maura's Mediterranean Cuisine is now open at 31 N. Cass.
- Grill 89 and Cucinova is also open.
- A ribbon cutting for Dazzling Styles, 4116 N Cass, will be happening on June 1st.
- The Red, White, & BBQ is celebrating it's 10th year and there are special pins that we have to hand out. There is a carnival, beer tent, the splash pad is opening, and many other vendors will be at the Barbeque. Please come out and have a fun weekend.

Trustee Liddle

- Invited Kristina Robel to the podium to the talk about the Westmont Cruisin' Nights & Street Fair. We are always looking for volunteers, so please call 630-829-9378 if you are interested. The event will be every Thursday night through August.
- The IL Special Olympics Torch Run will begin on Sunday, June 5th at 10:15am. It kicks off at Burlington & Cass Ave and will end at the Police Station, 500 N Cass.

Trustee Barry

- The next Public Works Committee Meeting will be July 7th at Village Hall.¹

Trustee Guzzo

- The next Finance Committee Meeting will be June 9th at 4:00pm.
- Wished everyone a safe Memorial Day and go out and enjoy the Red, White, & BBQ.

Trustee Barker

- Gave an update on the Community Development Meeting that happened earlier tonight.
- Westmont 1st meets the 3rd Monday of the Month. The meetings are held at the Westmont Library at 7:00pm.
- Introduced Dr. Simon to present the Salt and Light award to Mayor Ron Gunter.
- Mentioned the Pancake Breakfast on Sunday, May 29th after the Race to the Flag at Ty Warner Park.

Trustee Nero

- Thanked Trustee Barker for all of the time he committed to the Storm Stenciling Project.
- Talked about the Pet Promenade and thanked Larry Forssberg for all the work that went in to make that happen.
- Grill 89 is a great place and has good food.

¹ This information was corrected under the Miscellaneous portion of the meeting.

- The DuPage River Sweep was a success and a great project. Thanked Jill, Phil from Public Works, and Jon Yeater for their help.
- June 9th will be the next Public Safety Committee Meeting. This is a special meeting.
- Encouraged parents to sign up their kids for the Kids Safety Camp. There are still spots available.
- Special Thank you to the Police Officer who saved the turtle on Cass Avenue. This was witnessed by a resident and wrote a thank you note.
- Very excited to announce the birth of his nephew, Michael Nero.
- Invited Chief Mulhern to the podium to talk about the Open House happening at the Police Department. There will be many activities, please stop by on June 4th.
- Gave a recap of Cop on Top. Collected \$3,100 for Special Olympics and we thank you for your donations.
- The police department auction is on June 4th. Viewing happens at 8:45am and the auction begins at 9:00am.
- Wanted to add that Public Works Director Mike Ramsey was also at the River Sweep and thanked him for his help.

ITEMS TO BE REMOVED FROM CONSENT AGENDA:

- No request was made to have items removed from the consent agenda.

(1) CONSENT AGENDA [Omnibus Vote]:

Village Manager May addressed the Board on this agenda item.

Motion by **Trustee Addington** to approve the consent agenda items A, B, C, D, & E.

(A) VILLAGE BOARD MINUTES:

Board to consider approving the minutes of the Village Board Meeting held May 12, 2016.

(B) FINANCE ORDINANCE # 02: Dated **May 26, 2016**, in the amount of
\$ 1,995,430.09

(C) APRIL FINANCIAL REPORT

Board to consider a motion to accept the financial report submitted for the month of April, 2016.

(D) PURCHASE ORDERS

11039024	Harris Computer Corporation	\$ 5,520.00
11039006	Sungard Public Sector	31,822.49
11039054	Cattaneo Electric Company	29,725.00
11039010	Target Solutions	7,372.40
11039043	Discount Fence Co.	14,175.00
11039036	WW Grainger	9,487.70

11039032	Fireman Sealcoating	9,595.00
11039035	Engineering Solutions Team	155,000.00
11039034	AECOM Technical Services	36,798.00
11039104	DuPage Convention & Visitors Bureau	25,000.00
	Total of Purchase Orders	\$ 324,495.59

(E) RED, WHITE, & BBQ HOTEL / MOTEL GRANT REQUEST

Board to consider an ordinance awarding a Hotel/Motel Grant request in the amount of \$2,500 to the Westmont Lions for the Red, White, & BBQ event.

Seconded by **Trustee Liddle** and the motion passed.

VOTE ON MOTION #1

Ayes: Guzzo, Liddle, Barker, Barry, Nero, and Addington.

Nays: None.

Absent: None.

Present: None.

UNFINISHED BUSINESS

NEW BUSINESS

**Mayor Gunter asked to have agenda item (f) 50 W Ogden -Tesla Motors to be moved to the first topic.*

(2) 50 W OGDEN - TESLA MOTORS (AMENDMENT)

Community Development Director Ziegler and Christy Ortins, and Jonathan Chang addressed the Board on this item.

Public Comment:

- Larry Dowell, Attorney - IL Independent Auto Dealers Association
- Mike McGrath - McGrath Lexus

Motion by **Trustee Barry** to consider an amendment to the ordinance approving the following requests from Tesla Motors to allow the sale of new automobiles in the B-2 General Business District. The amendment shall include that a State of Illinois New Vehicle Dealership License is obtained and that the primary use is for selling and servicing automobiles:

1. Special Use Permit request to operate an automobile dealership.
2. Plat of Vacation request.

3. Final Plat of Subdivision request.

Seconded by **Trustee Guzzo** and the motion to amend passed.

VOTE ON MOTION #2

Ayes: Guzzo, Liddle, Barker, Barry, Nero, and Addington.

Nays: None.

Absent: None.

Present: None.

(3) 50 W OGDEN - TESLA MOTORS (ORIGINAL MOTION AS AMENDED)

Motion by **Trustee Barry** to consider an amended ordinance to include the following requests from Tesla Motors to allow the sale of new automobiles in the B-2 General Business District, and to include an amendment that shall require obtaining a State of Illinois New Vehicle Dealership License and that the primary use is for selling and servicing automobiles.

1. Special Use Permit request to operate an automobile dealership.
2. Plat of Vacation request.
3. Final Plat of Subdivision request.

Seconded by **Trustee Guzzo** and the original motion as amended passed.

VOTE ON MOTION #3

Ayes: Guzzo, Liddle, Barker, Barry, and Nero.

Nays: Addington.

Absent: None.

Present: None.

(4) POLICE PENSION TRUSTEE REAPPOINTMENT

Village Manager May addressed the Board on this item.

Motion by **Trustee Addington** Board to consider a motion approving Mayor Gunter's reappointment of Thomas Conidi as a member of the Board of Trustees of the Police Pension Fund for a two-year term.

Seconded by **Trustee Liddle** and the motion passed.

VOTE ON MOTION #4

Ayes: Guzzo, Liddle, Barker, Nero, Barry, and Addington.

Nays: None.

Absent: None.

Present: None.

(5) APPOINTMENT OF LEGAL REPRESENTATION - FIRE & POLICE COMMISSION



Village Manager May addressed the Board on this item.

Motion by **Trustee Addington** to consider an ordinance approving the Mayor's appointment of Thomas Good as Legal Counsel for the Fire and Police Commission.

Seconded by **Trustee Guzzo** and the motion passed.

VOTE ON MOTION #5

Ayes: Guzzo, Liddle, Barry, Barker, Nero, and Addington.

Nays: None.

Absent: None.

Present: None.

(6) REAPPOINTMENT OF VILLAGE PROSECUTOR

Police Chief Mulhearn addressed the Board on this item.

Motion by **Trustee Liddle** to consider an ordinance to approve Mayor Gunter's reappointment of Christine Charkewycz as Village Prosecutor.

Seconded by **Trustee Nero** and the motion passed.

VOTE ON MOTION #6

Ayes: Guzzo, Liddle, Barry, Barker, Nero, and Addington.

Nays: None.

Absent: None.

Present:None.

(7) 350 E RICHMOND STREET - LOT AREA VARIANCE

Community Development Director Ziegler addressed the Board on this item.

Motion by **Trustee Nero** to consider an ordinance approving a Zoning Code variance request from Elliott Carpentry, LLC to allow relief from the minimum lot area for a dwelling in the R-3 Single Family Residential District.

Seconded by **Trustee Guzzo** and the motion passed.

VOTE ON MOTION #7

Ayes: Guzzo, Nero, Liddle, Barry, Barker, and Addington.

Nays: None.

Absent: None.

Present:None.

(8) 522 64TH STREET - PLAT OF SUBDIVISION & LICENSE AGREEMENT REQUEST

Community Development Director Ziegler addressed the Board on this item.

Motion by **Trustee Liddle** to consider an ordinance approving the following requests from Sameer Afsar to subdivide one lot into two in the R-1A Single Family Detached Residence District:

1. Preliminary and Final Plat of Subdivision request.
2. License agreement for stormwater and drainage improvements in public easements.

Seconded by **Trustee Addington** and the motion passed.

VOTE ON MOTION #8

Ayes: Guzzo, Nero, Liddle, Barry, Barker, and Addington.

Nays: None.

Absent: None.

Present: None.

(9) 143 S CASS AVE - DARL GROOTER INTERIOR DESIGN

Community Development Director Ziegler addressed the Board on this item.

Motion by **Trustee Addington** to consider an ordinance approving the following requests from Dan Hogan for the following in the B-1 Limited Business District:

1. Site and Landscaping Plan approval to allow for construction of a building addition.
2. Commercial masonry waiver request.

Seconded by **Trustee Nero** and the motion passed.

VOTE ON MOTION #9

Ayes: Guzzo, Nero, Liddle, Barker, and Addington.

Nays: None.

Absent: None.

Present: None.

Abstain: Barry

(10) AWARD OF BID PROPOSAL - WATER MAIN CONSTRUCTION

Public Works Director Ramsey addressed the Board on this item.

Motion by **Trustee Barry** to consider an ordinance awarding the bid to and authorizing a contract with Suburban General Construction for the East Richmond Water Main Replacement Phase 1 project.

Seconded by **Trustee Liddle** and the motion passed.

VOTE ON MOTION #10

Ayes: Guzzo, Liddle, Barry, Barker, Nero, and Addington.

Nays: None.
Absent: None.
Present: None.

(11) 650 WESTMONT DRIVE - LAUREL BMW OF WESTMONT

Community Development Director Ziegler and Laurel BMW Representative, Deputy Fire Chief Riley addressed the Board on this item.

Motion by **Trustee Barry** to consider an ordinance approving a request from Laurel BMW of Westmont to extend previously granted temporary approval to use the existing building at 650 Westmont Drive for interior parking.

Seconded by **Trustee Guzzo** and the motion passed.

VOTE ON MOTION #11

Ayes: Guzzo, Nero, Liddle, Barry, Barker, and Addington.
Nays: None.
Absent: None.
Present: None.

(12) PUBLIC WORKS FACILITY STUDY

Public Works Director Ramsey addressed the Board on this item.

Motion by **Trustee Nero** to consider an ordinance authorizing a service agreement with AECOM to perform a Needs Programming Study for a New Public Works Facility.

Seconded by **Trustee Addington** and the motion passed.

VOTE ON MOTION #12

Ayes: Guzzo, Nero, Liddle, Barry, Barker, and Addington.
Nays: None.
Absent: None.
Present: None.

(13) BRILLIANT FINANCIAL STAFFING

Finance Director Parker addressed the Board on this item.

Motion by **Trustee Addington** to consider an ordinance approving an agreement with Brilliant Financial Staffing.

Seconded by **Trustee Liddle** and the motion passed.

VOTE ON MOTION #13

Ayes: Guzzo, Nero, Liddle, Barry, Barker, and Addington.
Nays: None.
Absent: None.

Present:None.

(14) FIRE DEPARTMENT FEES

Deputy Fire Chief Riley addressed the Board on this item.

Motion by **Trustee Guzzo** to consider an ordinance approving amendments to Chapter 42 of the Westmont Code of Ordinances to establish certain reimbursable Fire Department fees for emergency services.

Seconded by **Trustee Liddle** and the motion passed.

VOTE ON MOTION #14

Ayes: Guzzo, Nero, Liddle, Barry, Barker, and Addington.

Nays: None.

Absent: None.

Present:None.

(15) INFORMATION TECHNOLOGY - SURPLUS PROPERTY

Village Manager May addressed the Board on this item.

Motion by **Trustee Nero** to consider an ordinance to declare certain equipment as surplus Village property.

Seconded by **Trustee Liddle** and the motion passed.

VOTE ON MOTION #15

Ayes: Guzzo, Nero, Liddle, Barry, Barker, and Addington.

Nays: None.

Absent: None.

Present:None.

MISCELLANEOUS:

- Trustee Barry corrected that the next Public Works Meeting is at the Water Division on July 14th at 4:30 pm.
- Clerk Szymiski invited everyone to stop by to wish Jacki Garvey the best as she is retiring and her last day is June 3rd, 2016.
- Mayor Gunter announced that Cruisin' Nights will begin next Thursday and run through August.

(16) ADJOURNMENT: Motion by **Trustee Addington** to adjourn the meeting. Seconded by **Trustee Barker** and the motion passed.

VOTE ON MOTION #16

Ayes: Guzzo, Liddle, Nero, Barker, Barry, and Addington.

Nays: None.

Absent: None.

Present: None.



Village Clerk's Office

31 West Quincy Street • Westmont, Illinois 60559
Tel: 630-981-6220 Fax: 630-829-4441

MEETING ADJOURNED AT 8:12 P.M.

ATTEST:

APPROVED:

Virginia Szymiski, Village Clerk

Ronald J. Gunter, Mayor

Dated this 9th day of June, 2016.



Village of Westmont Community Events Permit Request

This permit request form and checklist has been developed for the purpose of assisting community organizations and other entities that wish to host or coordinate community special events in the Village of Westmont. Completion and approval of this form is mandatory for any community event that is requesting special permissions from the Village of Westmont. This includes street closures, use of public right-of-way, permission for parades, use of amplified music, hanging of temporary banners, etc. Events that invite large public gatherings or assemblies of people that may result in a distinct impact on public right of way should also complete this form. All block parties and private parties utilizing amplified music must obtain permission from the Village, but do not need to fill out this form.

Please contact Larry McIntyre, Westmont Communications Director, at 630-417-0280 or LMCINTYRE@westmont.il.gov to assist with the completion of this form. Once completed, the permit request and accompanying checklist will be submitted for staff review. Requests that require Village Board Action will be placed on a Village Board agenda for consideration. Copies of completed requests will be placed on file with the Village Clerk's Office.

VILLAGE OF WESTMONT SPECIAL EVENT PERMIT REQUEST

Event Name 2016 LOVE>FEAR - 5K Fundraiser

Host Organization(s) Reclaim 13 - (NFP that protects young people from human trafficking)

Name/Title of Event Contact Person (including name of alcohol contact person)
Event Coordinator Assistants - Lynda Balaja (Reclaim13)

Phone - Lynda Balaja - 630-742-3940; Catherine Theodorou 815-421-5265; Jenny Scorza 630-536-4089

Email - Lynda Balaja - balajasoccer5@hotmail.com; Catherine Theodorou - catherine@reclaim13.org; Jenny Scorza - jenny@reclaim13.org

Event Date(s) & Times Sat., August 20, 2016, 6am-Set-up, 7am-Sign-in; 8-9am-Race; 10-11a-Wrap up

Rain Date No rain date

Event Location Ty Warner Park South Soccer Field and Parking Lot, street surrounding Ty Warner Park, and streets throughout Oakwood (5K route similar to RTTF)

EVENT DESCRIPTION (describe event, parade, goals, target audience & attendance, etc.)

The Love>Fear 5K is a fundraiser advocating for human trafficking awareness and Reclaim13. It will take place on August 20, 2016 at Ty Warner Park, south soccer field, and surrounding streets. Using the same route as RTTF -

Oakwood Dr, Arlington Ave, Chestnut Ave, and Blackhawk Dr., Hamilton Ave, Revere Ave and Williamsburg St. Registration will be from 7:00-7:45 am. The goal for the fundraiser is to raise \$5,000 for Reclaim13, increase awareness for human trafficking, and encourage others to help combat this criminal industry. Reclaim13 is a non-profit organization that focuses on reclaiming a child's right to grow up feeling safe, loved, and free from harm around the Chicago-land area. An estimated 250 people will attend the race. The target audience is men and women of all ages, particularly in Westmont Illinois, but not limited to anyone as well. Bananas and granola bars will be offered at the Pavilion. At 4 locations through the race water will be provided near the racecourse. There will be, a Dj to provide entertainment after the race, and an expert on human trafficking to speak during the closing ceremony.

ENTERTAINMENT (describe type of entertainment: Dj, hours of entertainment: 9:15-11am, use of an amplified sound system which may require board approval, placement of stage & lights, etc.) Sound permit should be from 7am to 11am

Please provide details.

PUBLICITY The Love>Fear 5K will be promoted at churches, and businesses in and around Westmont,. t will also be advertised through various types of social media, such as Facebook, Instagram, Twitter, Snapchat, Tumblr, etc. Other means of promotion will be through Chicago Area Runners Association (CARA), Reclaim13, and Suburban Life Newspaper. (The Village encourages publicity to be published a minimum of 30 days prior to the event if requesting use of public space)

Please provide details.

Have you submitted and obtained a Temporary Sign Permit for your event signs/banners posting permit from the Westmont Building & Zoning Division? IN PROGRESS (Larry McIntyre will work with Lynda Balaja)

Have you made arrangements with the Westmont Communications Director to have the Village hang/place signs and/or banners in the public right-of-way? IN PROGRESS (Larry M.)

Event Proximity Notice

Minimally, the Village of Westmont requires the sponsoring organization to provide hand delivered notification regarding this event to all businesses and residences within one block of the event at least 7 days prior to the event. The Village may require a wider area of distribution depending on the size, scope and community impact of the event. This notice must include general information regarding the event including event hours, street & parking lot closures, sound amplification, special uses that may affect neighbors, event chair contact information including name and phone number, and more. This notice must be approved by the Westmont Media Relations Coordinator and a copy must be submitted with this application.

Please list the name of the person(s) delivering the event proximity notice, the specific location(s) to which this notice will be delivered, and the day and time of delivery?

Lynda Balaja and volunteer team will be delivering the event proximity notice along the race route on Saturday August 13th, 2016

SAFETY None that I am aware of (describe safety concerns & how they will be addressed, define security plan including number of people working security at what times and where they will be stationed, and if Police Dept. and EMA personnel will be requested)

We will have 12 volunteers through out the race to help keep the route secure. We will request 2 police officers to secure Oakwood Dr. and Jamestown Ave.

Will your event serve alcohol? YES NO

Insurance

Have you secured an appropriate insurance policy in the amount of \$1 million naming the Village of Westmont as an additional insured protecting the Village of Westmont from potential claims concerning this event? Policy through NSI, Esser-Hayes Insurance Group #12278 Policy #A114350

Reclaim13 will provide the appropriate insurance for this event.

EVENT LAYOUT & SET-UP The opening ceremony will be at the start line of the race and the closing ceremony and Dj entertainment will be at the Ty Warner Pavilion. The race course will take place on the surrounding streets of Oakwood Dr, Arlington Ave, Chestnut Ave, and Blackhawk Dr., Hamilton Ave, Revere Ave and Williamsburg St.. (describe complete site plan of event with location of tent(s), tables, chairs, generator(s), layout of power cables, stage, sound system, lighting, food and beverage service, fencing, water hook-up location, port-a-potties, waste receptacles including trash cans and dumpsters, etc.) Please provide details.

A layout graphic/drawing that includes the information listed above is REQUIRED. Is this drawing attached?)

Parking Parking lot on Blackhawk and Plaza (describe parking plan including areas designated for public parking, handicap parking, and how this plan will be promoted to the public)

Please provide details.

Are you requesting closure of a public right-of-way such as a street or parking lot? YES, limited closure

Will your event require a water hook-up? YES NO

If you are using any Village of Westmont-owned property, have you signed the Village of Westmont waiver regarding use of any Village equipment? YES NO

Event Maintenance

The Village of Westmont requires the event host to provide general clean up and maintenance during the event. This includes making sure that the area be litter-free, ensuring waste receptacles are regularly emptied and available for use, and ensuring that port-a-potties are regularly stocked and maintained. The Village further requires that the entire area enveloping the event is completely cleaned up immediately upon the close of the event. NOTICE: While the Village does not require a special event bond from the host organization, the Village reserves the right to invoice the host organization if the Village of Westmont incurs any unforeseen costs during the event.

BOARD ACTION REQUESTS & FEES

List all items requiring board action (such as but not limited to sound amplification, use of public right-of-way, etc.)

- Sound Amplification and Noise Request – Request to waive amplified sound and noise ordinance during the event from 8 a.m. to 11 a.m.
- Street Closures – Jamestown Ave and Oakwood Dr. streets may be closed from approximately 7:50am to 9am. Appropriate signage and detour information will be put in place.

Create a comprehensive listing of all Village of Westmont fees (such as but not limited to hiring of Police Dept. personnel, overtime payment to Village personnel, fees related to equipment use, etc.) that will be incurred by the host organization. NA

The undersigned acknowledges the expectations of this permit and agrees to follow through with all items outlined.

Lynda Balaja - Event Chair

Date

REVIEWED AND RECEIVED BY:

Larry McIntyre - Westmont Communications Director

Date

Sgt. Brian Gruen - Westmont Police Dept.

Date

Dave Weiss - Westmont Fire Dept.

Date

Mike Ramsey - Public Works Dept.

Date



Village of Westmont Special Event Permit Checklist

The following checklist is to be completed in person by the special events permit requestor and the Westmont Media Relations Coordinator (MRC). This checklist is to accompany the request.

- YES** **NO** The Village of Westmont Special Event Permit Request Form has been completed, signed and is attached

- YES** **NO** **N/A** Closure or ordinance variance in regard to Village streets, parking lots and/or public right-of-way has been requested
If YES, requires Village Board Action

- YES** **NO** **N/A** Amplified music, live or otherwise, has been requested
If YES, requires Village Board Action

- YES** **NO** **N/A** A water hook-up is needed and has been reviewed by MRC

- YES** **NO** **N/A** Street barricades and security fencing is needed, has been reviewed with MRC, and is listed on event layout drawing

- YES** **NO** **N/A** A property use waiver and Village hold harmless agreement has been signed and is attached with this request

- YES** **NO** **N/A** An appropriate insurance policy that protects the Village of Westmont has been secured and is attached with this request:
It is set to be bound 60 days prior to event

- YES** **NO** **N/A** An event safety plan, including requests to utilize Village personnel and volunteers, has been reviewed and approved by the MRC along with the Westmont Police and Fire Departments

- YES** **NO** **N/A** Village and State Liquor licenses are required and have been obtained

- YES** **NO** **N/A** Health Department permits for food and beverage service are required and have been obtained

- YES** **NO** **N/A** Event proximity notice has been created and submitted with this permit request (NOTE: This notice MUST be delivered to all businesses and residents within one block of the event no later than seven days before date of event)

- YES** **NO** **N/A** Posting of signs and banners within the Village will be required and a temporary sign request has been submitted and approved by the Westmont Building and Zoning Division

Larry McIntyre/Westmont Media Relations Coordinator

Date

Mike Ramsey/Event Chair

Date



Quote Proposal

Customer Number: 1000059790
Policy Number: A144350 00

Quoted Policy Term: 08/20/2016 to 08/21/2016
Date Quoted: 04/22/2016

Customer Name and Address:
Compassionate Communities for Children
DBA Reclaim 13
PO Box 59
Downers Grove, IL 60515

Agency Name and Address: 12278
ESSER-HAYES INSURANCE GROUP
1811 HIGH GROVE LANE STE 139
NAPERVILLE, IL 60540
630-355-2077

Thank you for the opportunity to provide a quote.

See below for a summary of premiums quoted. Refer to additional pages for more details.

This quote proposal is based on the underwriting and rating information provided to date, including deductibles and retention. Please keep in mind this quote proposal may be subject to additional rating, pricing or underwriting considerations, as well as to a loss prevention survey and compliance with its recommendations.

These rate levels and this quote proposal are valid for 60 days or until the proposed effective date, whichever comes first. 08/20/2016

Coverage Part	Premium
Commercial General Liability Coverage	\$430.00
Total Premium:	\$430.00
Total Including Taxes, Fees and Surcharges:	\$430.00

Kelly Schmid
Phone: 608-410-3489 | Fax: 1-800-320-1622
Email: kschmid@wbmi.com

**This quote proposal is not the insurance contract.
Only the actual provisions of the issued policy will apply.**



Quote Proposal

Customer Number: 1000059790
Policy Number: A144350 00

Quoted Policy Term: 08/20/2016 to 08/21/2016
Date Quoted: 04/22/2016

Customer Name and Address:
Compassionate Communities for Children
DBA Reclaim 13
PO Box 59
Downers Grove, IL 60515

Agency Name and Address: 12278
ESSER-HAYES INSURANCE GROUP
1811 HIGH GROVE LANE STE 139
NAPERVILLE, IL 60540
630-355-2077

This quote proposal is subject to the following and cannot be bound until all requested information is received and approved by underwriting for acceptability.

Underwriter Comments

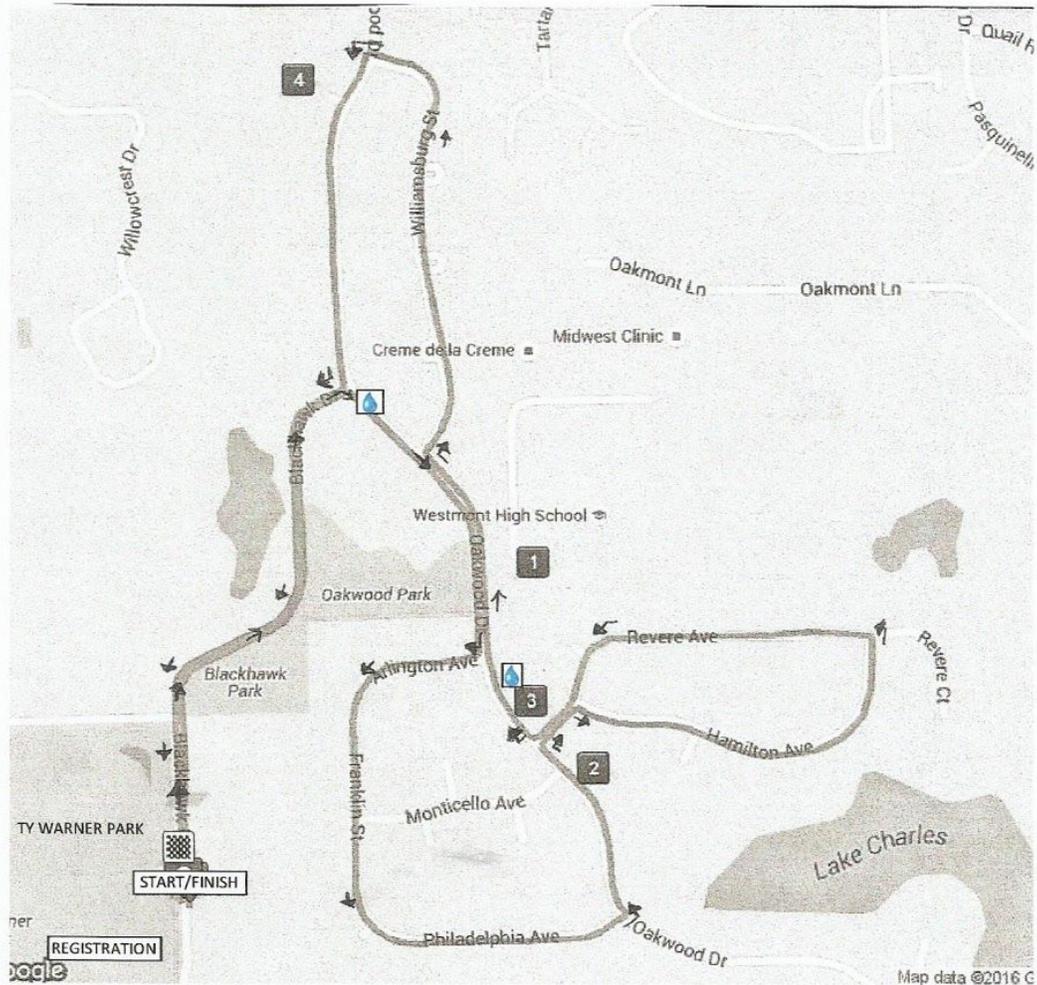
** Pricing Indication **

Coverage can be bound with an updated NSI Special Event application received 60 days prior to the event date

**This quote proposal is not the insurance contract.
Only the actual provisions of the issued policy will apply.**

love > fear

AUGUST 20TH, 2016 8:00 AM



From North – Take I-355, I-294 or Route 93 south to Ogden Ave. For Route 83 and I-294, go west on Ogden Ave. and for I-355 go east on Ogden Ave. Turn North on Blackhawk Drive and follow the signs.

From West – Take I-88 east to Cass Ave. Midwest Rd. Go south on Cass Ave./Midwest Rd. to Ogden Ave. turn left to Blackhawk Drive. Turn north on Blackhawk Drive and follow the signs.

From East – Take I-88 west to Route 83. Go south on Route 83 to Ogden Ave. Go west on Ogden Ave. to Blackhawk Drive. Turn north on Blackhawk Drive and follow the signs.

From South – Take I-355, I-294 or Route 83 North to Ogden Ave. For Route 83 and I-294, go west and for I-355 go east. Turn North on Blackhawk Drive and follow the signs.

Village of Westmont

Community Events Permit Request

This permit request form and checklist has been developed for the purpose of assisting community organizations and other entities that wish to host or coordinate community special events in the Village of Westmont. Completion and approval of this form is mandatory for any community event that is requesting special permissions from the Village of Westmont. This includes street closures, use of public right-of-way, permission for parades, use of amplified music, hanging of temporary banners, etc. Events that invite large public gatherings or assemblies of people that may result in a distinct impact on public right of way should also complete this form. All block parties and private parties utilizing amplified music must obtain permission from the Village, but do not need to fill out this form.

Please contact Larry McIntyre, Communications Director, at 630-417-0280 or LMCINTYRE@westmont.il.gov to assist with the completion of this form. Once completed, the permit request and accompanying checklist will be submitted for staff review. Requests that require Village Board Action will be placed on a Village Board agenda for consideration. Copies of completed requests will be placed on file with the Village Clerk's Office.

Please read through the entire form before filling it out. Please attach additional written information to this request if there is not enough space on this form.

VILLAGE OF WESTMONT SPECIAL EVENT PERMIT REQUEST

Host Organization Village of Westmont / Westmont Park District

Name/Title of Event Contact Person (including name of alcohol contact person) Ron Gunter, Westmont Park District

Day Phone 630-969-8080 **Eve Phone** 630-688-3498

Email rgunter@westmont.il.gov

Event Name Independence Day Celebration / 4th of July Fireworks

Event Date(s) & Times Monday, July 4, 2016, 4pm to 10:30pm

Rain Date (if applicable) NA

Event Location Ty Warner Park

EVENT DESCRIPTION (describe event, parade, goals, target audience & attendance, etc.)

Typical to years in the past, the Park District will host the Independence Day Celebration at Ty Warner Park. The event will kick-off at 4 and continue thpmrough the end of the fireworks presentation, typically ending before 10:30pm. The event includes live music, a petting zoo, food and beer sales, contests and games, and a fireworks presentation.

ENTERTAINMENT (describe type of entertainment, hours of entertainment, use of an amplified sound

system which may require board approval, placement of stage & lights, etc.)

There will be live and recorded music played throughout the day from the large gazebo at Ty Warner Park.

There will be various contests for families.

PUBLICITY (describe where and when event will be promoted – the Village encourages publicity to be published a minimum of 30 days prior to the event if requesting use of public space)

This event is publicized in Neighbors Magazine Village Website, Ch. 16 bulletin board, WSEC website, Park District Brochure, Park District Website, banners at Ty Warner Park.

Have you submitted and obtained a Temporary Sign Permit for your event signs/banners posting permit from the Westmont Building & Zoning Division? **YES** NO (Larry will do this.)

Have you made arrangements with the Communications Director to have the Village hang/place signs and/or banners in the public right-of-way? **YES** NO

Event Proximity Notice

Minimally, the Village of Westmont requires the sponsoring organization to provide hand delivered notification regarding this event to all businesses and residences within one block of the event at least 7 days prior to the event. The Village may require a wider area of distribution depending on the size, scope and community impact of the event. This notice must include general information regarding the event including event hours, street & parking lot closures, sound amplification, special uses that may affect neighbors, event chair contact information including name and phone number, and more. This notice must be approved by the Communications Director.

Please list the name of the person(s) delivering the event proximity notice, the specific location(s) to which this notice will be delivered, and the day and time of delivery?

Notice regarding the 4th of July Celebration was previously sent out in the area with the information regarding Red-White & BBQ event and all Ty Warner Special Events for 2016.

SAFETY (describe safety concerns & how they will be addressed, define security plan including number of people working security at what times and where they will be stationed, and if Police Dept. and EMA personnel will be requested)

The Westmont Park District works directly with the Westmont Police Dept., Fire Dept., and Village Staff regarding safety and set-up needs. Please see attached 4th of July traffic plan.

Will your event serve alcohol? **YES** NO

If YES, list name & contact info of person securing liquor licenses with Village and State.

The Westmont Lions Club is responsible for serving alcohol at the event and they will prepare a separate request for this activity.

If YES, have you contacted the Westmont Police Department to hire an officer for the event, which is required by ordinance if an event serves alcohol? **YES** NO

Insurance

Have you secured an appropriate insurance policy in the amount of \$1 million naming the Village of Westmont as an additional insured protecting the Village of Westmont from potential claims concerning this

event? **YES** NO (Ron G. said he will send us a copy.)

EVENT LAYOUT & SET-UP (describe complete site plan of event with location of tent(s), tables, chairs, generator(s), layout of power cables, stage, sound system, lighting, food and beverage service, fencing, water hook-up location, port-a-potties, waste receptacles including trash cans and dumpsters, etc. Create a schedule for expected delivery of items for set-up and teardown.)

All aspects of this event take place on Park District Property

A layout graphic/drawing that includes the information listed above is REQUIRED.

Layout must include public street and parking lot closures, barricades, placement of stage and tents, location of water hook-ups, placement waste receptacles, placement of tents-tables-chairs, location of food and beverage service, location of information tent, etc.

Is this drawing attached? NO, Brian Gruen from the Police Dept. will be responsible for the traffic plan map.

Parking (describe parking plan including areas designated for public parking, handicap parking, and how this plan will be promoted to the public)

The Police Dept. and Park District work closely to develop this plan.

Are you requesting closure of a public right-of-way such as a street or parking lot (If YES, this requires board action and proof of insurance naming the Village of Westmont as an additional insured)?

YES NO

If YES, list parking lot/street locations and times of closure.

There is only one closure from 9 p.m. to 10 p.m.. Additionally, the Police Department enforces special vehicle and pedestrian traffic calming measures to ensure safety throughout the day until after the event is over.

Will your event require a water hook-up? YES **NO**

If YES, list where and when you would like the water hook-up?

NA

If you are using any Village of Westmont-owned property, have you signed the Village of Westmont waiver regarding use of any Village equipment? YES **NO, not applicable**

Event Maintenance

The Village of Westmont requires the event host to provide general clean up and maintenance during the event. This includes making sure that the area be litter-free, ensuring waste receptacles are regularly emptied and available for use, and ensuring that port-a-potties are regularly stocked and maintained. The Village further requires that the entire area enveloping the event is completely cleaned up immediately upon the close of the event. NOTICE: While the Village does not require a special event bond from the host organization, the Village reserves the right to invoice the host organization if the Village of Westmont incurs any unforeseen costs during the event.

ADDITIONAL

Create a comprehensive listing of all

Will your event serve food? YES NO

If YES, who will be responsible for preparing/serving food and meeting all County and State Health Codes? The Park District is responsible for all such necessary permits, etc.

Additional Requests (List all additional requests that you are considering)

This event will utilize the services of Westmont EMA. Their expectations are coordinated with the Westmont Park District. The Westmont Public Works Department’s involvement consists of delivering and picking up traffic calming devices (barricades and cones) for the event. Fire Department will have on-duty personnel and equipment at event while not on emergency calls. None of these items incur additional, unbudgeted costs to the Village of Westmont or the Westmont Park District. The Fireworks presentation/display requires permission from the Westmont Fire Department and that has already been approved.

BOARD ACTION REQUESTS & FEES

List all items requiring board action (such as but not limited to sound amplification, use of public right-of-way, etc.)

- 4th of July special event traffic plan - Various one-ways and street closures around Ty Warner Park from 6 a.m. to 11:00 p.m.
- Amplified sound permit request form

Create a comprehensive listing of all Village of Westmont fees (such as but not limited to hiring of Police Dept. personnel, overtime payment to Village personnel, fees related to equipment use, etc.) that will be incurred by the host organization.

All participation of the Village of Westmont is budgeted (pending) and there are no charges incurred by the Westmont Park District.

The undersigned acknowledges the expectations of all four pages of this permit and agrees to follow through with all items outlined.

Ron Gunter/Westmont Park District

Date

REVIEWED AND RECEIVED BY:

Larry McIntyre/Communications Director

Date

Village of Westmont Special Event Permit Checklist

The following checklist is to be completed in person by the special events permit requestor and the Westmont Communications Director. This checklist is to accompany the request.

- | | | | |
|------------|----|-----|--|
| <u>YES</u> | NO | | The Village of Westmont Special Event Permit Request Form has been completed,
signed and is attached |
| <u>YES</u> | NO | N/A | Closure or ordinance variance in regard to Village streets, parking lots and/or public right-of-way has been requested
If YES, requires Village Board Action |
| <u>YES</u> | NO | N/A | Amplified music, live or otherwise, has been requested
If YES, requires Village Board Action |
| <u>YES</u> | NO | N/A | A water hook-up is needed and has been reviewed by MRC |
| <u>YES</u> | NO | N/A | Street barricades and security fencing is needed, has been reviewed with MRC, and is listed on event layout drawing |
| <u>YES</u> | NO | N/A | A property use waiver and Village hold harmless agreement has been signed and is attached with this request |
| <u>YES</u> | NO | N/A | An appropriate insurance policy that protects the Village of Westmont has been secured and is attached with this request |
| <u>YES</u> | NO | N/A | An event safety plan, including requests to utilize Village personnel and volunteers, has been reviewed and approved by the MRC along with the Westmont Police and Fire Departments |
| <u>YES</u> | NO | N/A | Village and State Liquor licenses are required and have been obtained |
| <u>YES</u> | NO | N/A | Health Department permits for food and beverage service are required and have been obtained |
| <u>YES</u> | NO | N/A | Event proximity notice has been created and submitted with this permit request (NOTE: This notice MUST be delivered to all businesses and residents within one block of the event no later than seven days before date of event) |
| <u>YES</u> | NO | N/A | Posting of signs and banners within the Village will be required and a temporary sign request has been submitted and approved by the Westmont Building and Zoning Division |

Larry McIntyre/Communications Director

Date

Ron Gunter/Westmont Park District

Date



**VILLAGE OF WESTMONT
PLANNING AND ZONING COMMISSION
AGENDA ITEM**

MEETING DATE: May 11, 2016 (continued from March 09, 2016)

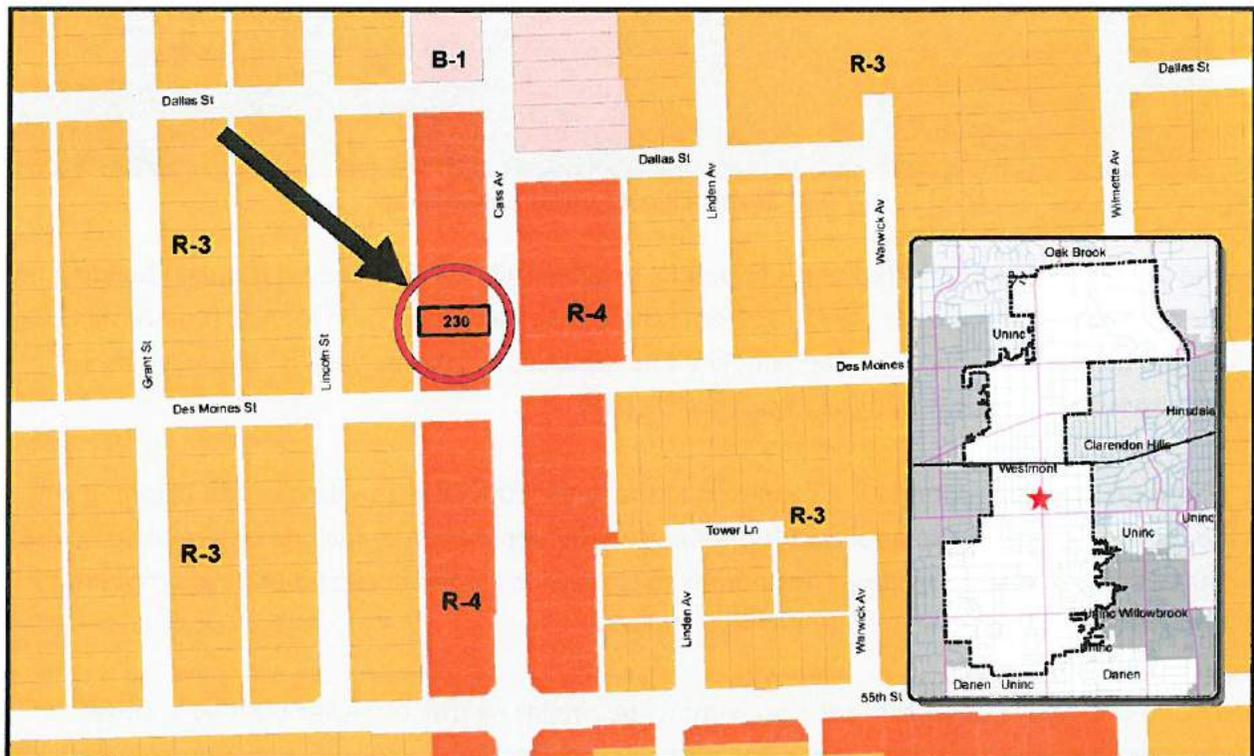
P/Z 16-004

TITLE: SKE Property Investments regarding the property located at 230 South Cass Avenue, Westmont, IL 60559 for the following:

- (A) Zoning Code Variance request for relief from the minimum square feet per building in an R-4 General Residence District.
- (B) Zoning Code Variance request for relief from the maximum allowable density in an R-4 General Residence District.
- (C) Site and Landscaping Plan approval to build a new single-family semi-detached dwelling.
- (D) Preliminary Plat of Subdivision request to split one lot into two buildable lots in the R-4 General Residence District.

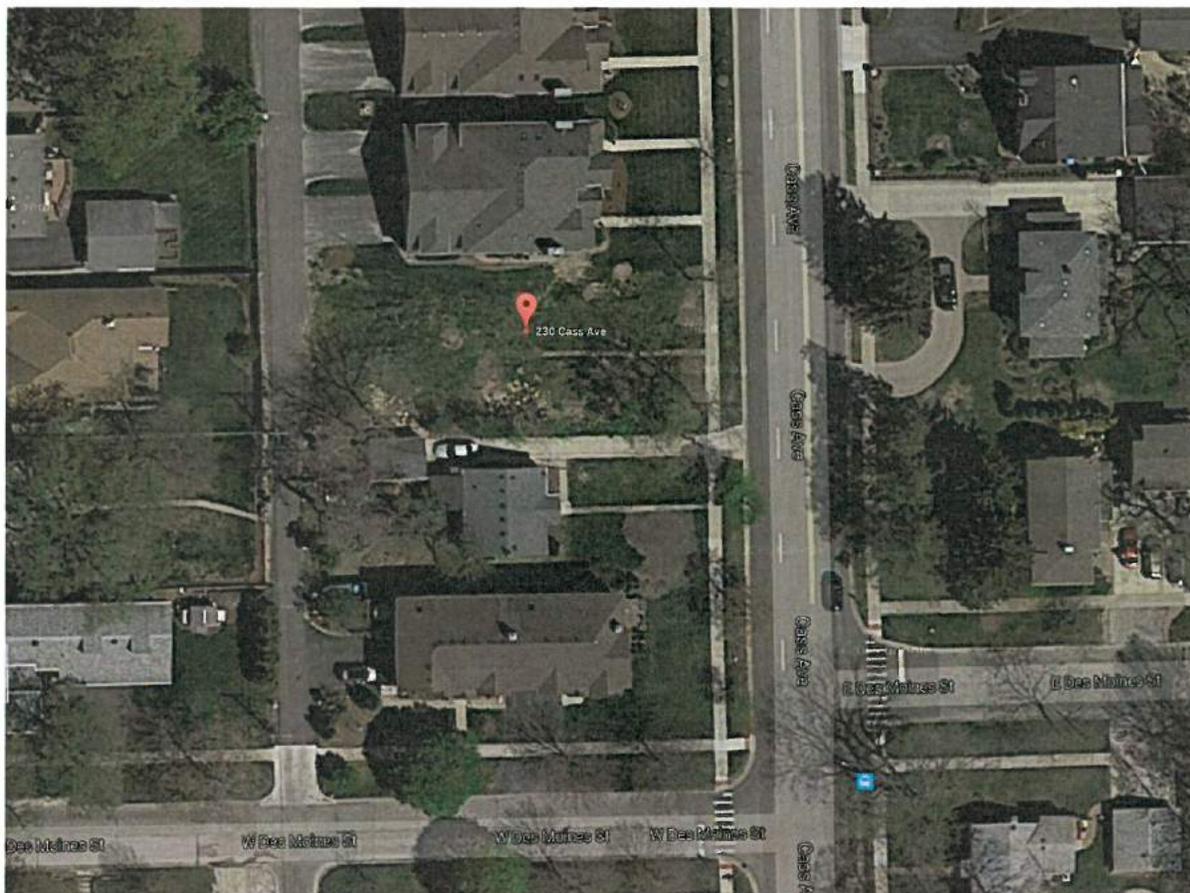
BACKGROUND OF ITEM

The subject lot is located on the west side of South Cass Avenue just north of Des Moines Street. Also known as Lot 8 in Block 15 of the Arthur T. McIntosh and Company subdivision, the lot is approximately 60' x 151' and is approximately 9,080 square feet or 0.21 acres.



230 South Cass Avenue - Zoning Map

The property is zoned R-4 General Residence District, as are the adjacent properties to the north, south and east. The property across the alley to the west is zoned R-3 Single Family Detached District. The property is currently vacant, and historically had an existing single-family house that was demolished in 2009.



230 South Cass Avenue Aerial Map

The petitioner has submitted plans to build a single-family semi-detached (duplex) building on the property, and requests variances from both density and minimum lot size requirements to permit the construction. Additionally, site and landscape plan approval is requested as a requirement of the R-4 General Residence District.

Based on the recommendation proposed at the March 09, 2016 meeting of the Planning and Zoning Commission, the applicant has amended the application to include a two-lot subdivision that will permit the individual townhomes to be sold as owner-occupied units and not limited as exclusive rental units.

This new construction proposal closely matches similar nearby duplexes built by another developer in 2001. Located to the north at 220-222 South Cass Avenue and 224-226 South Cass Avenue, the properties received comparable density variances and subdivision approvals.

ZONING ANALYSIS

The subject property is located in the R-4 General Residence District. The R-4 district permits single-family, two-family and multiple family residences. By definition, this construction qualifies as a semi-detached dwelling with two units, each containing three bedrooms.

Minimum lot sizes for the district are defined in Appendix "A", Section 6.04 - Bulk and development standards in residence districts. A summary of requirements and requested density variances are discussed below.



230 South Cass Avenue as seen from South Cass Avenue



230 South Cass Avenue as seen from the alley to the west of South Cass Avenue

Density summary for variance requests

The existing property contains a lot area of 9,080 square feet, or two new lots of 4,540 square feet based on the requested subdivision. Code requires semi-detached dwellings to have a minimum lot size of 12,000 square feet. With the subdivision, each newly created lot will be 7,460 square feet deficient. When considering this in units of dwelling units per acre, code would permit 7.26 du/ac. Based on lot area, the request is for 9.62 du/ac.

Density is further defined in code when considering the number of bedrooms for each allowable unit. The applicant has proposed that each unit have three bedrooms. In order to have two units with three bedrooms per unit, code requires 5,000 square feet per dwelling. Each newly subdivided lot would result in a deficiency of 460 square feet. Again, converting into dwelling units per acre, code requires 8.71 du/ac, and the request is for 9.62 du/ac.

R-4 Density chart based on new lots of 4,530 square feet

	Required lot area by unit type	Total required lot area
3-bedroom units	5,000 sf/unit (3-bedroom units)	12,000 sf
Total Required:	5,000 sf/unit (Deficient 460 sf) 9.2% unit density variance	12,000 sf required per building (Deficient 7,460 sf) 62.1% lot density variance

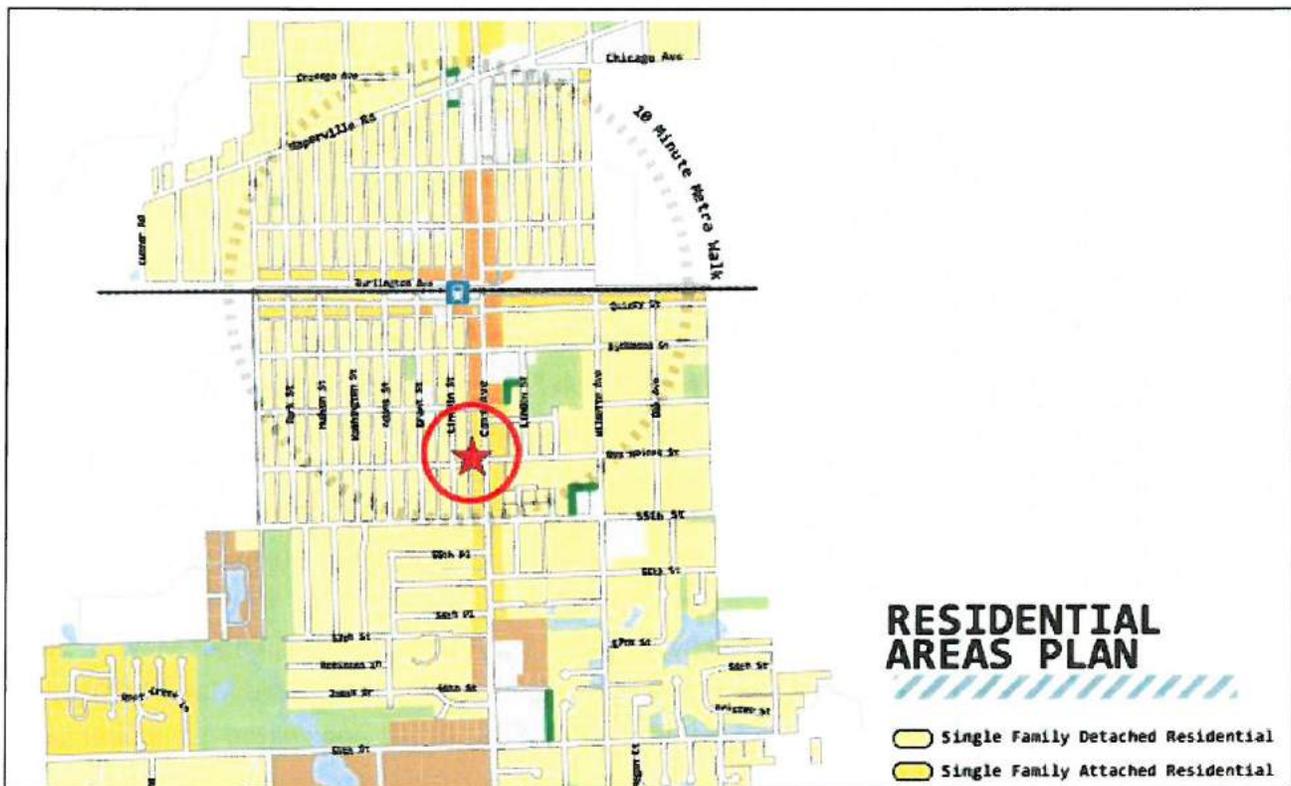


Adjacent similar development on Cass

Comprehensive Plan

The Comprehensive Plan recognizes this area as a Single Family Attached Residential, and specifically states:

“Single-family attached residential areas designated in the Land Use Plan include areas where this residential type can serve as a transitional use between single-family detached residential neighborhoods and more intense non-commercial areas such as busy commercial corridors or business use areas. Single-family attached residential development provides for more dense residential areas, promoting smaller units that may be more desirable for individuals and couples, rather than for families with children.”



Comprehensive Plan Excerpt

REVIEW COMMENTS

Engineering Synopsis - Village Engineer Noriega's comments are attached for your review. The memo comments include requirements for Best Management Practices. A second set of comments addresses the submission for the plat of subdivision.

Landscaping Synopsis - Village Landscape Architect Fleck's comments are attached for your review.

SUMMARY

The applicant requests site and landscape approval, and variances for relief from both minimum lot size and density requirements for a semi-detached dwelling in the R-4 district.

Staff notes that the building elevation has been revised from first submittal to include brick on the entire front facade as had been requested and a revised elevation has been included.

DOCUMENTS ATTACHED

1. Public notice as published in the February 24, 2016 edition of the Westmont Progress.
2. Staff review comments from Village Engineer Noriel Noriega dated February 19 and April 16, 2016, and Village Landscape Architect Bob Fleck dated March 05, 2016.
3. Application for variances, with associated application materials, dated February 10, 2016.
 - a. Plat of Survey, prepared by Morrison Surveying Company, dated May 14, 2014.
 - b. Landscape Plan, prepared by Fawn Landscaping and Nursery, Inc., dated March 09, 2015.
 - c. Plat of Easement, prepared by Morrison Surveying Company, dated May 14, 2014.
 - d. Grading Plan, prepared by MARTIN M. Engineering, Inc., dated May 14, 2014.
 - e. Building Plan and Elevations, prepared by IMJ Group, Inc., dated November 18, 2014.
 - f. Preliminary Plat of Subdivision, prepared by Morrison Surveying, Inc., dated April 06, 2016.

PUBLIC NOTICES PUBLIC NOTICES PUBLIC NOTICES PUBLIC NOTICES PUBLIC NOTICES PUBLIC NOTICES

LEGAL NOTICE / PUBLIC NOTICE

**VILLAGE OF WESTMONT
PLANNING AND ZONING COMMISSION AGENDA**

The Village of Westmont Planning and Zoning Commission will hold its regular meeting on Wednesday, March 09, 2016 at 7:00 P.M., at the Westmont Village Hall, 31 West Quincy Street, Westmont, IL 60559.

1. Call to Order
2. Roll Call
3. Pledge of Allegiance
4. Swearing-in of testifying attendees and reminder to sign in
5. Reminder to silence all electronic devices
6. Approval of Minutes of the February 10, 2016 meeting
7. Open Hearing

New Business
PZ 16-004 SKE Property Investments regarding the property located at 230 South Cass Avenue, Westmont, IL 60559 for the following:

(A) Zoning Code Variance request for relief from the minimum square feet per building in an R-4 General Residence District.

(B) Zoning Code Variance request for relief from the maximum allowable density in an R-4 General Residence District.

(C) Site and Landscaping Plan approval to build a new single-family semi-detached dwelling.

PZ 16-005 Village of Westmont regarding a Zoning Code text amendment for the following:

(A) Amend Appendix A, Section 7.06 of the Westmont Zoning Code regarding the B-3 special development district to allow for residential uses as a special use.

8. Adjourn

Note: Any person who has a disability requiring a reasonable accommodation to participate in the meeting should contact the Village of Westmont, Illinois, 60559 between 8:00 A.M. to 4:00 P.M. Monday through Friday, or telephone (630) 981-6210 voice, or (630) 981-6300 TDD, within a reasonable time before the meeting.

All interested persons in attendance will be allowed to express their views.

WESTMONT PLANNING AND ZONING COMMISSION
Ed Richard, Chairperson

February 24, 2016
Westmont Suburban Life 1161425

LEGAL NOTICE / PUBLIC NOTICE

**VILLAGE OF WESTMONT
PLANNING AND ZONING COMMISSION
NOTICE OF PUBLICATION**

NOTICE IS HEREBY GIVEN that a public hearing has been scheduled before the Westmont Planning and Zoning Commission to be held on Wednesday, March 9, 2016 at 7:00 P.M. in the Westmont Village Hall, 31 W. Quincy St., Westmont, Illinois 60559.

The purpose of the hearing is to consider a request from SKE Property Investments regarding the property located at 230 South Cass Avenue, Westmont, IL 60559 for the following:

(A) Zoning Code Variance request for relief from the minimum square feet per building in an R-4 General Residence District.

(B) Zoning Code Variance request for relief from the maximum allowable density in an R-4 General Residence District.

(C) Site and Landscaping Plan approval to build a new single-family semi-detached dwelling.

Legal Description:
LOT 8 IN BLOCK 15 IN WESTMONT, BEING A SUBDIVISION BY ARTHUR T. MCINTOSH AND COMPANY OF THE SOUTH-EAST 1/4 AND PART OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF SECTION 9 TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS

More Common Location: 230 South Cass Avenue, Westmont, IL 60559

Pin: 09-09-421-018

Village Code(s) Applicable: Appendix "A", Section 6.01 (F)
Appendix "A", Section 6.04 (A)
Appendix "A", Section 13.07

Note: Any person who has a disability requiring a reasonable accommodation to participate in the meeting should contact the Village of Westmont, Illinois, 60559 between 8:00 A.M. to 4:00 P.M. Monday through Friday, or telephone (630) 981-6210 voice, or (630) 981-6300 TDD, within a reasonable time before the meeting.

All interested persons in attendance will be allowed to express their views.

WESTMONT PLANNING AND ZONING COMMISSION
Ed Richard, Chairperson

February 24, 2016
Westmont Suburban Life 1161436

LEGAL NOTICE / PUBLIC NOTICE

**VILLAGE OF WESTMONT
PLANNING AND ZONING COMMISSION AGENDA
NOTICE OF PUBLICATION**

NOTICE IS HEREBY GIVEN that a public hearing has been scheduled before the Westmont Planning and Zoning Commission to be held on Wednesday, March 9, 2016 at 7:00 P.M. in the Westmont Village Hall, 31 W. Quincy St., Westmont, Illinois 60559

The purpose of the hearing is to consider a request from the Village of Westmont regarding a Zoning Code text amendment as follows:

(A) Amend Appendix A, Section 7.06 of the Westmont Zoning Code regarding the B-3 special development district to allow for residential uses as a special use.

Village Code(s) Applicable: Appendix A, Article VI, Section 6.02
Appendix A, Article VII, Section 7.06
Appendix A, Article XIII, Section 13.11

Note: Any person who has a disability requiring a reasonable accommodation to participate in the meeting should contact the Village of Westmont, Illinois, 60559 between 8:00 A.M. to 4:00 P.M. Monday through Friday, or telephone (630) 981-6210 voice, or (630) 981-6300 TDD, within a reasonable time before the meeting.

All interested persons in attendance will be allowed to express their views.

WESTMONT PLANNING AND ZONING COMMISSION
Ed Richard, Chairperson

February 24, 2016
Westmont Suburban Life 1161430

LEGAL NOTICE/PUBLIC NOTICE

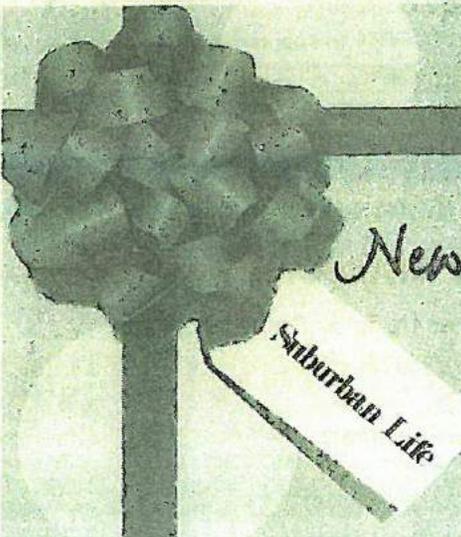
The initial list of textbooks recommended for adoption for the 2016-17 school year in Community High School District 99 are on display at the Administrative Service Center, 6301 Springside Avenue, Downers Grove, IL 60516.

Individuals interested in reviewing the textbooks may do so between the hours of 7:30 a.m. and 4:30 p.m. Monday through Friday, from February 23, 2016 through April 5, 2016. Review time is not available on March 25, 2016.

February 24, 2016
Downers Grove Suburban Life
Woodridge Suburban Life
February 25, 2016
Westmont Suburban Life
February 26, 2016
Hinsdale Suburban Life 1161488

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**Public Works Department
Engineering Division**

31 West Quincy Street • Westmont, Illinois 60559
Tel: 630-981-6272 Fax: 630-829-4479

Date: February 19, 2016

To: Mr. Tom Elliott (Elliottbuilders@gmail.com)

From: Noriel Noriega, PE, CPESC
Assistant Director of Public Works - Village Engineer

RE: Proposed Townhome
230 S. Cass Avenue, Westmont
Preliminary Review

We are in receipt of the proposed preliminary site improvement plan for the townhome at 230 S. Cass Avenue dated 05/14/2014 prepared by Martin M. Engineering, Inc. Before the Village can recommend any approvals, the following items will need to be addressed:

1. Updated survey should be provided for permitting submittal.
2. The Village's alley is no longer gravel, but asphalt pavement.
3. VCBMP and PCBMP will be required. Design criteria may be taken from the DuPage Appendix E Water Quality Best Management Practices Technical Guidance Manual.
4. Open-cut of Cass Avenue will not be allowed. Please verify storm sewers along Cass Avenue. Our atlas indicates a 12" storm sewer along the west side of Cass Avenue that will eliminate the need to have a proposed storm sewer crossing Cass Avenue.
5. The proposed detention facility will need to be located in a Stormwater Detention Easement. Ensure all downspout and sump pump discharges must be directed to the proposed detention facility.
6. As part of the regular review process, final parkway tree plan approval will be required. Mr. Jon Yeater, Village Forester, may be contacted at 630-981-6285 regarding any of his review comments and for a pre-construction tree survey.

If you have any further questions or concerns, please contact me at 630-981-6295.

Thank you.

Cc: Mr. Mike Ramsey - Director of Public Works (via email)
Mrs. Jill Ziegler, AICP - Community Development Director (via email)
Mr. Jim Cates - Public Works Supervisor, Water Operations / Facilities Manager (via email)
Mr. Jon Yeater - Public Works Foreman, Village Forester (via email)
Mr. Joe Hennerfeind, AICP - Planner II (via email)
Ms. Melissa Brendle, Municipal Services Office Supervisor (via email)
Mrs. Rose Gross, Municipal Services (via email)



**Public Works Department
Engineering Division**

31 West Quincy Street • Westmont, Illinois 60559
Tel: 630-981-6272 Fax: 630-829-4479

Date: April 16, 2016

To: Mrs. Jill Ziegler, AICP
Community Development Director

From: Noriel Noriega, PE, CPESC
Assistant Director of Public Works - Village Engineer

RE: Proposed Townhome
230 S. Cass Avenue, Westmont
Preliminary Review #1a-Plat

We are in receipt of the following item for the proposed townhome at 230 S. Cass Avenue:

1. Preliminary Plat of Subdivision for Elliott Estates dated 04/16/2016 prepared by Morrison Surveying Co., Inc.

A preliminary review of the submitted documents has no significant issues that we feel would prevent the project from continuing. Our listed comments below can be addressed during the Permit Application Process. It should be noted that additional comments should be anticipated when a full Permit Application Review is performed.

1. Please note, the Plat cannot be finalized and recorded until after the foundation is installed. Depending on the exact placement of the foundation and location of the common wall, the property line may need to be slightly adjusted to accommodate as constructed dimensions.
2. Change the note "26.5' PU&DE" to read "26.5' Stormwater Detention Easement".

If you have any further questions or concerns, please contact me at 630-981-6295.

Thank you.

Cc: Mr. Mike Ramsey - Director of Public Works (via email)
Mrs. Jill Ziegler, AICP - Community Development Director (via email)
Mr. Joe Hennerfeind, AICP - Planner II (via email)
Ms. Melissa Brendle, Municipal Services Office Supervisor (via email)
Mrs. Rose Gross, Municipal Services (via email)

March 5, 2016

230 S. Cass Ave. Landscape Review #1

The following comments are in response to landscape plans dated March 9, 2015.

1. The tree survey as submitted shows 10 trees over 6" in diameter proposed for removal. I visited the site late February. No trees exist. Clearly these were recently removed and should be compensated for in the plan. Petitioner would be required to replace 5 trees per ordinance.
2. The parkway tree would not be included in the tree replacement count. 3 are shown, 2 more are required.
3. I ask that the parkway trees be of two different varieties, one should be Swamp White Oak. Swamp White is more tolerant of parkway conditions. The Bur Oak would be a better choice on the property.

Bob Fleck
Village Landscape Architect.

I.J.M. Group, Inc.

708-404-4451 imcdonne@yahoo.com
82 S. La Grange Rd. Suite 205
La Grange IL. 60525

March 11, 2015

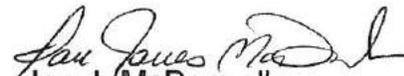
Re: 230 S. Cass Ave

To Whom it may Concern,

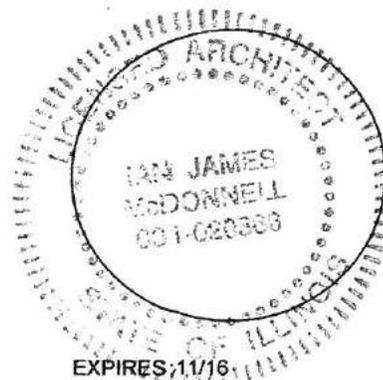
Please see below the finding of facts to 230 S. Cass Ave.

- a. Due to the economy and the property value, this property would not yield a reasonable return under the conditions allowed.
- b. the plight of the owner is due to unique circumstances in that the property value is not what it was when he bought it due to the downturn of the economy
- c. the variation if altered will not alter the essential character of the locality, there are similar buildings that needed to go through the same process in order to yield a reasonable return. the essential character of the area is very much in line with what we are proposing

Respectfully Submitted,



Ian J. McDonnell
License # 001-020866



March 11, 2015

Re: 230 S. Cass Ave

To Whom it may Concern,

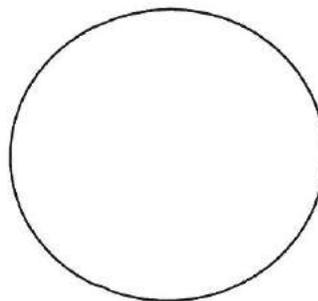
The owner of 230 S. Cass Ave., SKE Properties will be seeking two variances for this property. The property is R-4 Zoning which allows multifamily residential. the lot size is 9076.8 Sq. ft., 60'x151.28. For the Owner to put a multi unit building on this property, he is seeking a variance to the following:

1. The zoning code only allows two units on a property if the property has 6700 sq. ft. per three bedroom units. This property has 4538.4 sq. ft. per unit.
2. The zoning code only allows two units on a property if the total square footage of the property is greater than 12000 sq. ft.. This property has 9076.8 sq. ft.

What the owner is proposing is very similar to other neighboring buildings that were built with same type of restrictions this property has. The owner looks forward to working with the village on this matter

Respectfully Submitted,

Ian J. McDonnell
License # 001-020866



EXPIRES:11/14

VILLAGE OF WESTMONT PLANNING AND ZONING COMMISSION
FINDINGS OF FACT

PUBLIC HEARING OF MARCH 9, 2016

3/11/16

P/Z 16-004 – SKE Property Investments regarding 230 S. Cass Avenue, Westmont

Request for variances to allow relief from the minimum square feet per building and for relief from the maximum allowable density for property in the R-4 General Residence District.

***CRITERIA NO. 1:** The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the district in which it is located.*

FINDINGS OF FACT: The highest and best use of this property is a residential duplex development, given the two duplex developments to the immediate north, the proximity of this property to the Central Business District, and given its location along Cass Avenue. In order to meet market demand and yield a reasonable return, these variances are necessary.

***CRITERIA NO. 2:** The plight of the owner is due to unique circumstances.*

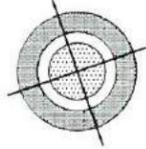
FINDINGS OF FACT: Similar density variances were granted for 2 duplex developments to the immediate north. 3 bedroom units are required to meet market demand.

***CRITERIA NO. 3:** The variation, if granted, will not alter the essential character of the locality.*

FINDINGS OF FACT: The two adjacent properties to the north contain similar residential duplex developments. This proposed duplex is consistent with the underlying zoning and the Village's Comprehensive Use Plan for the area. This duplex development will provide an appropriate transitional use to the Village's Central Business District to the north and is an appropriate use given the property's location on heavily-trafficked Cass Avenue. This proposed development will not result in adverse stormwater, parking or traffic concerns and will not alter the character of the neighborhood.

 7 The Planning and Zoning Commission agrees with the above findings.

 0 The Planning and Zoning Commission does not agree with the above findings.

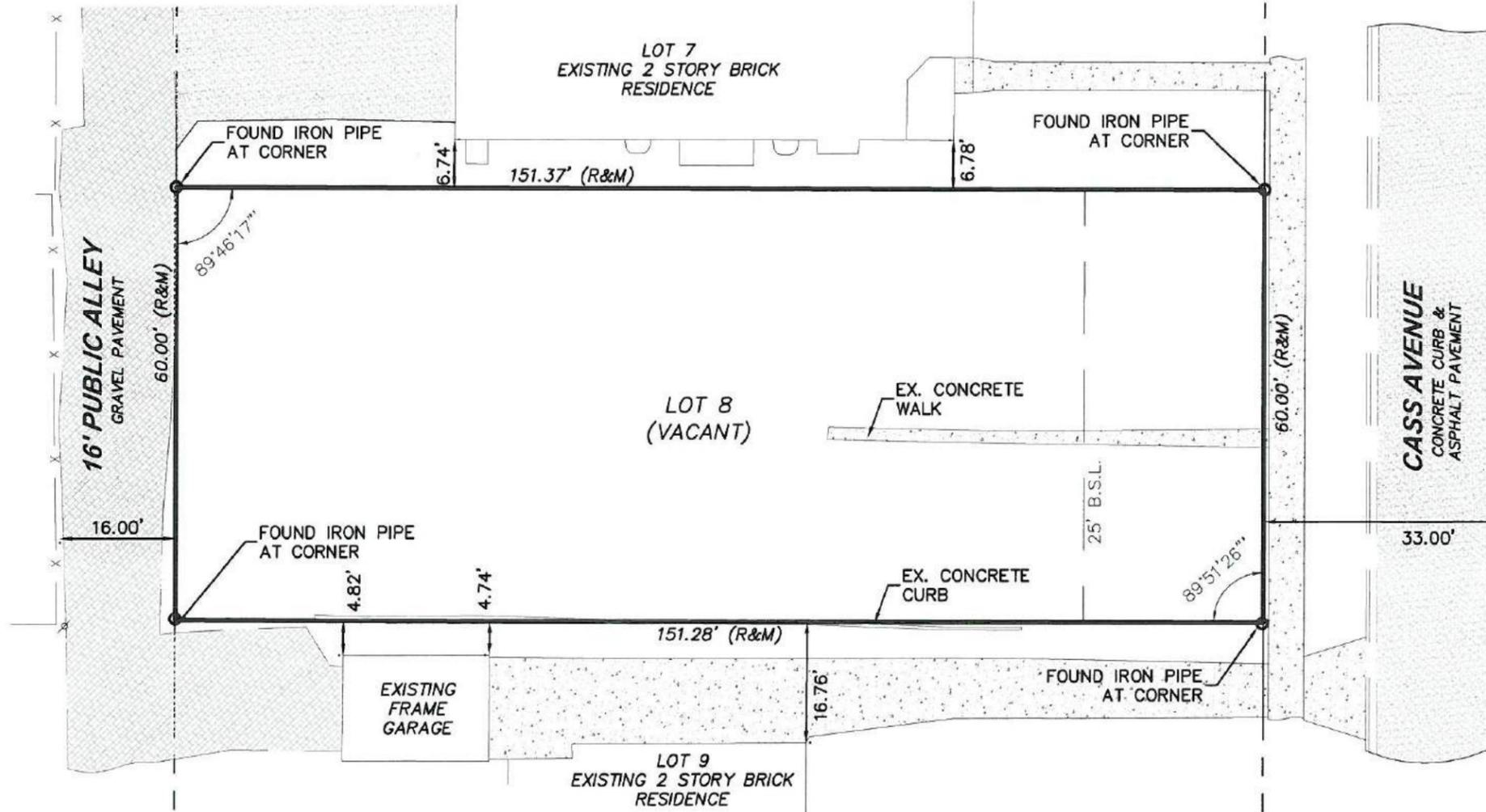


PLAT OF SURVEY

MORRISON SURVEYING CO., INC.
2710 N IL Rt 47, Morris, Illinois 60450
Phone (815) 942-2620 of FAX (815) 941-2620



LOT 8 IN BLOCK 15 IN WESTMONT, BEING A SUBDIVISION BY ARTHUR T. MCINTOSH AND COMPANY OF THE SOUTHEAST 1/4 AND PART OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF SECTION 9, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.
PIN# 09-09-421-018



SURFACE LEGEND

-  EXISTING BITUMINOUS PAVEMENT
-  EXISTING CONCRETE PAVEMENT
-  EXISTING GRAVEL PAVEMENT

LEGEND

-  FOUND IRON ROD
-  FOUND IRON PIPE
-  EASEMENT LINE

PROPERTY ADDRESS

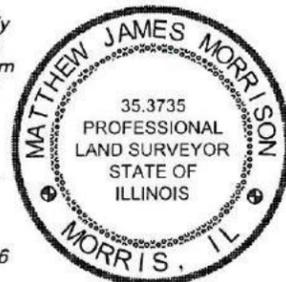
230 S. CASS AVENUE
WESTMONT, IL

PROPERTY P.I.N. NUMBER

09-09-421-018

State of Illinois }
County of Grundy } s.s.

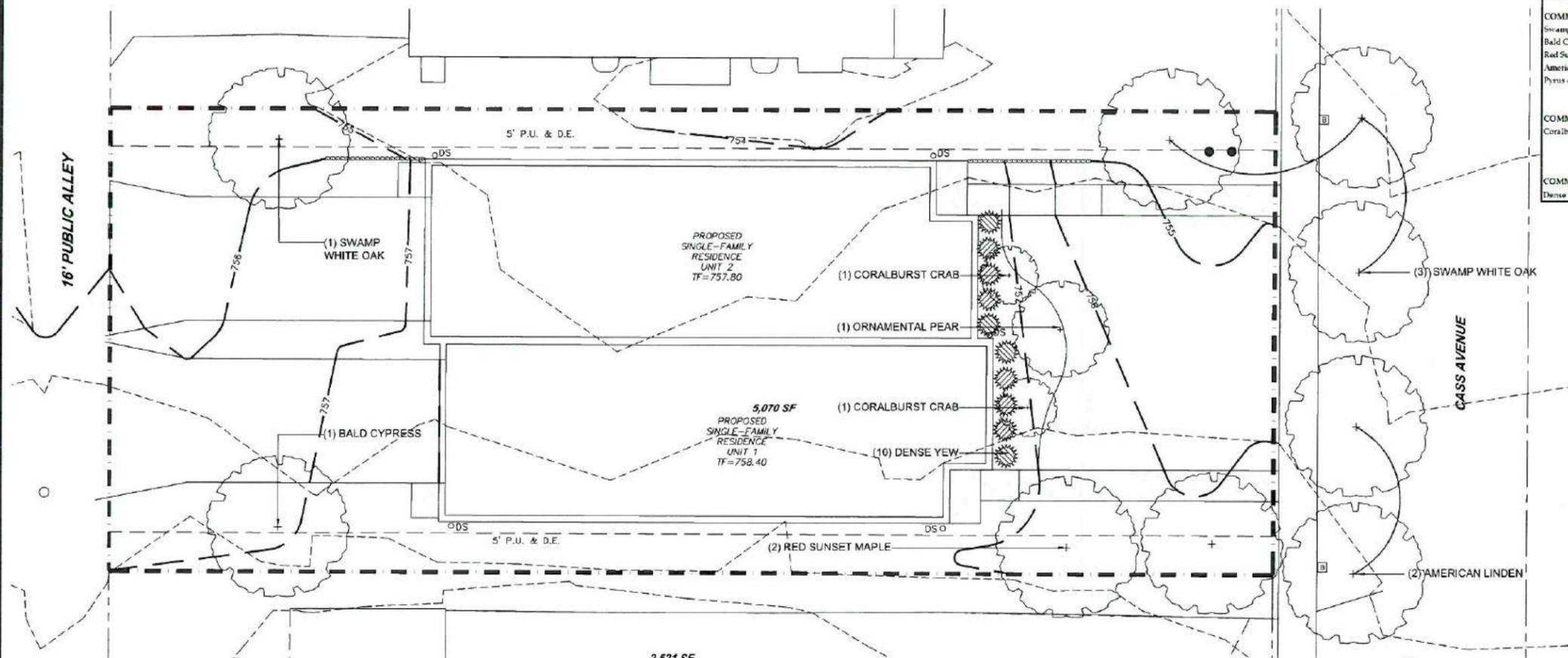
We, MORRISON SURVEYING CO INC., (PDF License #184-003915) do hereby certify that we have surveyed the property described in the caption to the plat hereon drawn and that this professional service conforms to the current Illinois minimum standards for a boundary survey. All dimensions are in feet and decimal parts of a foot and are correct at a temperature of 68 degrees farenheight. Dimensions shown on buildings are to the outside of buildings.
Given under my hand and seal at Morris, Illinois. Date: 5/14/14



ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-3735 License Expires 11/30/16

Compare All Dimensions Before Building And Report Any Discrepancies At Once. For Building lines, Easements and other restrictions not shown hereon refer to your Deed, Title Policy, Zoning ordinance, ETC...

ORDERED BY: ELLIOTT CARPENTRY
SCALE: 1"=20' JOB NO. 13-182

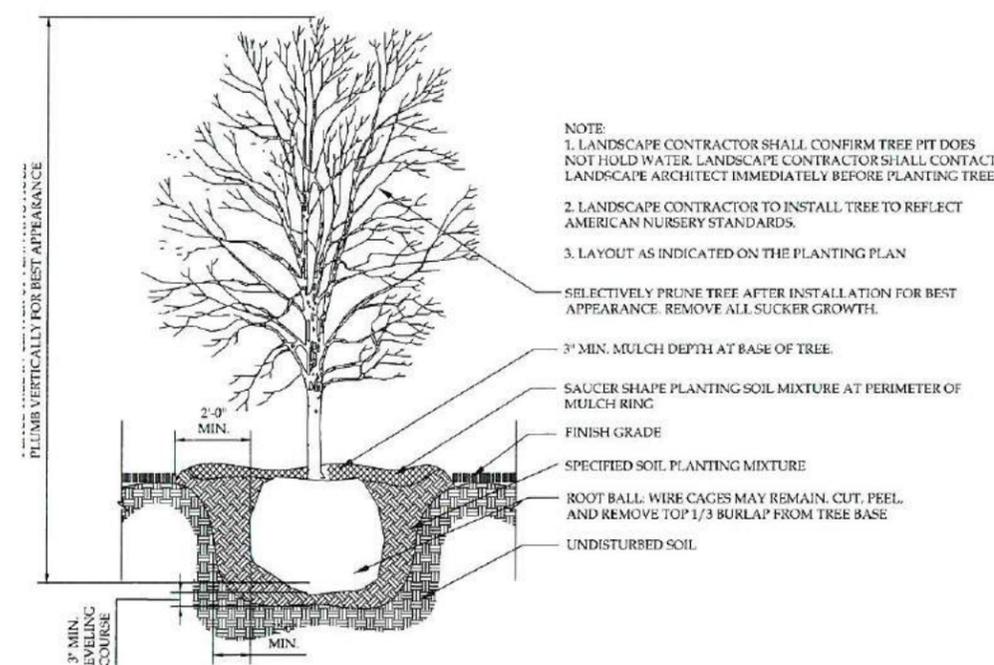


SHADE TREES			
COMMON NAME	BOTANICAL NAME	QUANT	SIZE
Swamp White Oak	<i>Quercus bicolor</i>	1	2.5' BB
Bald Cypress	<i>Taxodium distichum</i>	1	2.5' BB
Red Sunset Maple	<i>Acer rubrum 'Red Sunset'</i>	2	2.5' BB
American Linden	<i>Tilia americana</i>	2	2.5' BB
Pyrus calleryana	<i>Ornamental Pear</i>	1	2.5' BB

ORNAMENTAL TREES			
COMMON NAME	BOTANICAL NAME	QUANT	SIZE
Coralburst Crabapple	<i>Malus Coralburst</i>	2	2.5' BB

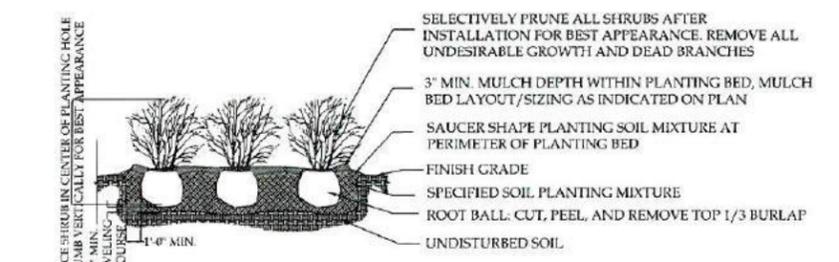
SHRUBS			
COMMON NAME	BOTANICAL NAME	QUANT	SIZE
Dense Yew	<i>Taxus densiformis</i>	10	24" BB

1 Planting Plan
SCALE: 1/8" = 1'-0"



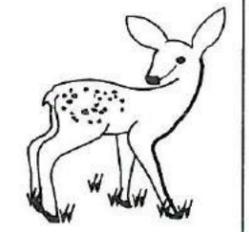
- NOTE:
1. LANDSCAPE CONTRACTOR SHALL CONFIRM TREE PIT DOES NOT HOLD WATER. LANDSCAPE CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT IMMEDIATELY BEFORE PLANTING TREE.
 2. LANDSCAPE CONTRACTOR TO INSTALL TREE TO REFLECT AMERICAN NURSERY STANDARDS.
 3. LAYOUT AS INDICATED ON THE PLANTING PLAN

2 Tree Planting Detail
SCALE: NTS



- SELECTIVELY PRUNE ALL SHRUBS AFTER INSTALLATION FOR BEST APPEARANCE. REMOVE ALL UNDESIRABLE GROWTH AND DEAD BRANCHES
- 3" MIN. MULCH DEPTH WITHIN PLANTING BED, MULCH BED LAYOUT/SIZING AS INDICATED ON PLAN
- SAUCER SHAPE PLANTING SOIL MIXTURE AT PERIMETER OF PLANTING BED
- FINISH GRADE
- SPECIFIED SOIL PLANTING MIXTURE
- ROOT BALL: CUT, PEEL, AND REMOVE TOP 1/3 BURLAP
- UNDISTURBED SOIL

3 Shrub Planting Detail
SCALE: NTS



Fawn Landscaping & Nursery, Inc.
24405 S. LaGrange Rd
Frankfort, IL 60423
(815)469-3434 (815)469-5727 FAX
website: www.fawnlandscaping.com
email: info@fawnlandscaping.com

230 Cass Ave Residences
Landscape Plan

scale	AS NOTED
design	SJL
date	March 9, 2015
revision	May 16, 2016
revision	
revision	

DETAILED GRADING PLAN

LOT 8 IN BLOCK 15 IN WESTMONT, BEING A SUBDIVISION BY ARTHUR T. MCINTOSH AND COMPANY OF THE SOUTHEAST 1/4 AND PART OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF SECTION 9, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.
PIN# 09-09-421-018

NOTES:

EROSION CONTROL:
TO BE APPLIED PER THE ILLINOIS URBAN MANUAL, LATEST EDITION.
PUMPING SEDIMENT LADEN WATER INTO ANY STORMWATER FACILITY THAT IS NOT DESIGNATED TO BE A SEDIMENT TRAP, DRAINAGEWAY, OR OTHER AREA EITHER DIRECTLY OR INDIRECTLY WITHOUT FILTRATION IS PROHIBITED. WATER REMOVED FROM TRAPS, BASINS AND OTHER WATER HOLDING DEVICES OR EXCAVATIONS MUST FIRST PASS THROUGH A SEDIMENT CONTROL AND/OR FILTRATION DEVICE. WHEN DEWATERING DEVICES ARE USED, DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION. DISCHARGES SHALL BE ROUTED THROUGH AN EFFECTIVE SEDIMENT CONTROL MEASURE (E.G. SEDIMENT TRAP, SEDIMENT BASIN OR OTHER APPROPRIATE MEASURE).

INLET PROTECTION SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL STABILIZATION IS ACHIEVED. TRAPPED SEDIMENT AND OTHER DISTURBED SOILS RESULTING FROM TEMPORARY MEASURES SHALL BE PROPERLY DISPOSED OF PRIOR TO PERMANENT STABILIZATION. ANY SOIL REACHING A PUBLIC OR PRIVATE ROADWAY SHALL BE REMOVED IMMEDIATELY, OR AS WARRANTED, AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA.

STOCKPILES TO REMAIN IN PLACE FOR MORE THAN THREE DAYS SHALL BE PROVIDED WITH SENSITIVE MEASURES.

SCHEDULE OF CONTROL MEASURE IMPLEMENTATION:
A. CONSTRUCT THE APPLICABLE PORTIONS OF THE EROSION AND SEDIMENTATION CONTROLS PRIOR TO SITE CLEARING.
B. CONTROL SITE DEVELOPMENT IN ACCORDANCE WITH THE SPECIFICATIONS OUTLINED IN THE ILLINOIS URBAN MANUAL, LATEST EDITION.
C. MAINTAIN INLET PROTECTION, CONSTRUCTION TRAFFIC SURFACES, CLEANING OF STORM STRUCTURES, AND THE LIKE ON A REGULAR BASIS AFTER EACH HEAVY RAIN OR AS OTHERWISE REQUIRED.

THE ESTIMATED CONSTRUCTION SCHEDULE IS AS FOLLOWS:
SITE CLEARING: SUMMER 2014
ROUGH GRADING AND CONST.: SUMMER 2014
FINAL GRADING: FALL 2014
FINAL LANDSCAPING: FALL 2014

CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION TO DETERMINE IF ANY CONFLICTS EXIST. THE DESIGN ENGINEER MUST BE NOTIFIED PRIOR TO START OF CONSTRUCTION.

ONE OF THE THREE FOLLOWING PARKWAY TREES WILL BE REQUIRED TO BE PLANTED IN THE PARKWAY OF THE MULTIPLE-FAMILY RESIDENCE:
GINKO (GINKO BILBO) - MIN. 3" CALIF. HEIGHT
GOLDEN LARCH (PSEUDOLARIX AMABILIS) - MIN. 5' HEIGHT
HACKBERRY (CELTIS OCCIDENTALIS) - MIN. 5' CALIF. HEIGHT
PROPOSED TREES SHALL BE A MINIMUM OF 10' FROM THE PROPOSED DRIVEWAY.

ALL SPOILS FROM THE FOUNDATION AND DETENTION BASIN SHALL BE REMOVED AND SHALL NOT BE STORED ON-SITE.

FOR UNDERGROUND UTILITY LOCATIONS AND PRIOR TO ANY CONSTRUCTION CONTACT THE ILL. TOLL FREE 1-888-492-8123

THE VILLAGE OF WESTMONT STANDARD DETAIL FOR PAVEMENT PATCH, R-4.0 IS TO BE FOLLOWED FOR THE STORM & SANITARY SEWER CONNECTIONS. ALSO, THE EDGES OF THE PATCH ARE TO BE CUT, AND THE VILLAGE OF WESTMONT POLICE DEPARTMENT IS TO BE CONTACTED PRIOR TO THE PATCH INSTALLATION. ANY DISTURBANCE TO THE RIGHT-OF-WAY DUE TO THIS CONNECTION MUST BE SUBSTANTIALLY RESTORED WITHIN 10 DAYS OF THE CONNECTION.

EXISTING TOPOGRAPHIC INFORMATION PROVIDED BY MATT MORRISON SURVEY COMPANY. COMPARE ALL POINTS BEFORE BUILDING AND REPORT ANY DIFFERENCES AT ONCE. FOR BUILDING LINES, EASEMENTS AND OTHER RESTRICTIONS NOT SHOWN HEREON REFER TO YOUR DEED, CONTRACT, TITLE POLICY, ZONING ORDINANCE, ETC.

BENCHMARK:
DGN0001: LOCATED ON THE EAST SIDE OF FAIRVIEW AVE., 5.80' EAST OF THE EDGE OF WALK ALONG FAIRVIEW AVE. & 63.4' NORTH OF THE NORTH EDGE OF BRICK SIDEWALK TO PAVILION. ELEV. = 753.32 FT.

DGN0002: LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF ROUTE 34 AND CASS AVENUE. STATION IS 34' EAST OF THE CENTERLINE OF OGDEN AVENUE, AND 5.8' WEST OF THE WEST EDGE OF A CONCRETE SIDEWALK ALONG CASS AVENUE. MONUMENT IS A BRONZE DISK IN THE WEST SIDE OF A CONCRETE TRAFFIC SIGNAL BASE. ELEV. = 746.25.

SITE BENCHMARK:
"X" CUT IN SIDEWALK AT THE EXTENSION OF THE NORTH PROPERTY. ELEV. = 754.60 FT.

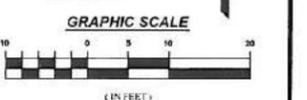
CURRENT LOT ZONING: R-3

BUILDER:
BILKOTT CARPENTRY
(708) 876-8675

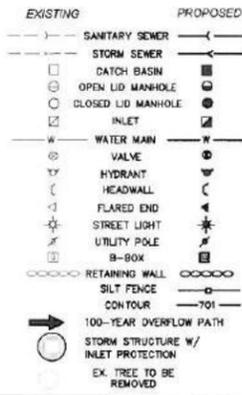
ABBREVIATIONS:

XXX.XME	MATCH EXISTING ELEVATION
TF	TOP OF FOUNDATION
ME	MATCH EXISTING
GF	GARAGE FLOOR
DS	DROP SIDING ELEVATION
BL	BRICK L EDGE ELEVATION
XXXX	SPOT GRADE W/ FLOW DIRECTION

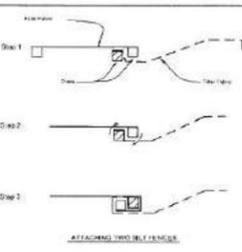
NOTE: ADD 700 TO ALL PROPOSED SPOT GRADES.



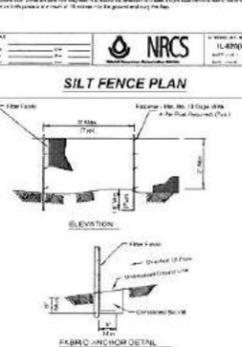
LEGEND



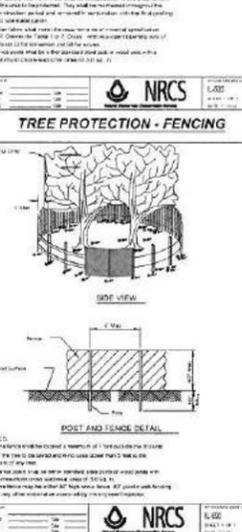
SILT FENCE PLAN



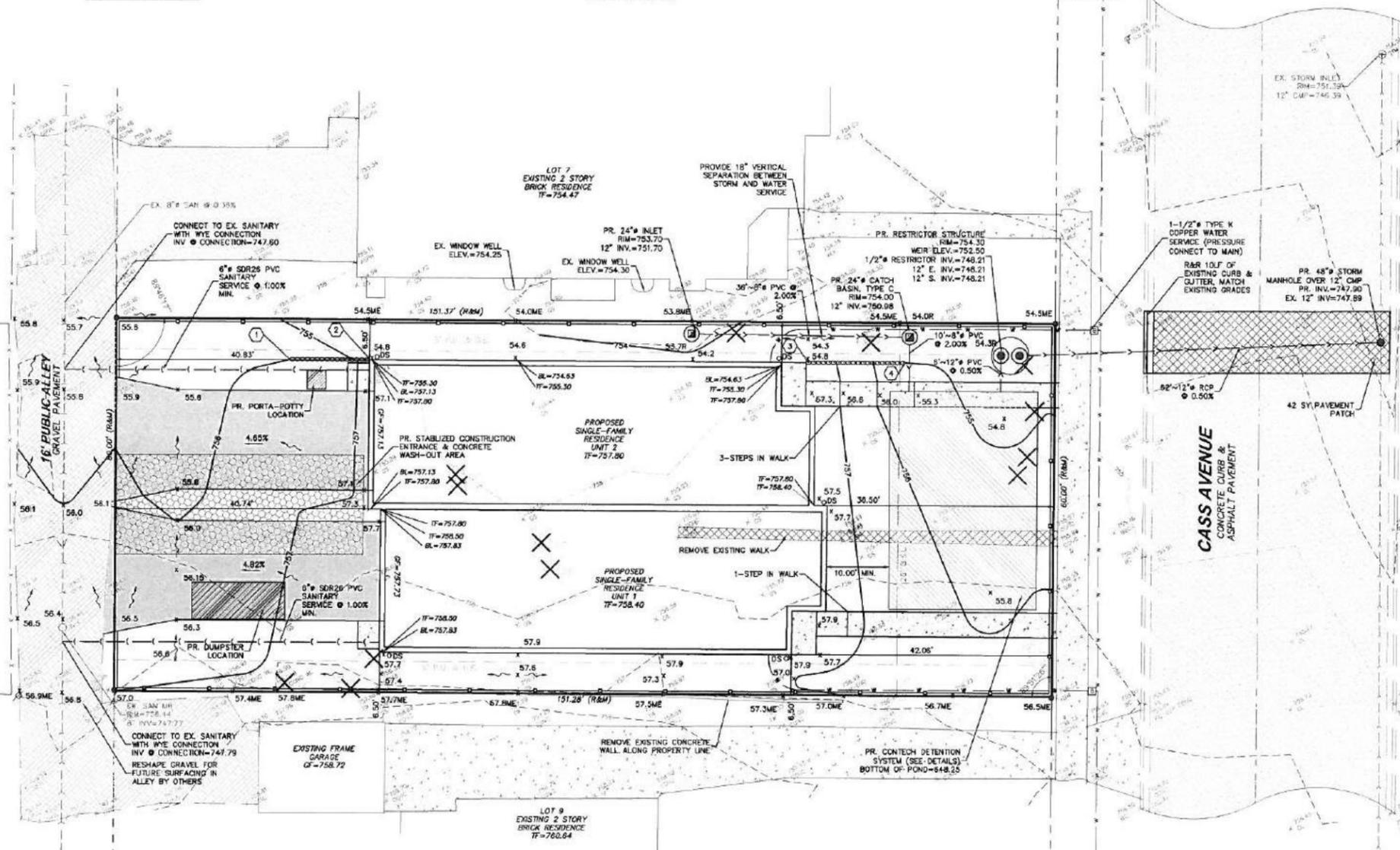
SILT FENCE PLAN



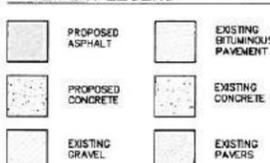
TREE PROTECTION - FENCING



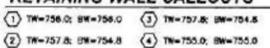
PROPOSED PLAN



PAVEMENT LEGEND



RETAINING WALL CALLOUTS



SOIL PROTECTION CHART

STABILIZATION TYPE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
PERMANENT SEEDING			A									
DORMANT SEEDING	B											
TEMPORARY SEEDING			C									
SODDING						D						
MULCHING												

- A. KENTUCKY BLUEGRASS 90 LBS/AC MIXED WITH PERENNIAL RYEGRASS 30 LBS/AC
 - B. KENTUCKY BLUEGRASS 135 LBS/AC MIXED WITH PERENNIAL RYEGRASS 45 LBS/AC + 2 TONS STRAW MULCH/AC
 - C. SPRING OATS 100 LBS/AC
 - D. WHEAT OR CEREAL RYE 150 LBS/AC
 - E. SOO
 - F. STRAW MULCH 2 TONS/AC
- * IRRIGATION NEEDED DURING JUNE AND JULY
** IRRIGATION NEEDED FOR 2 TO 3 WEEKS AFTER APPLYING SOO

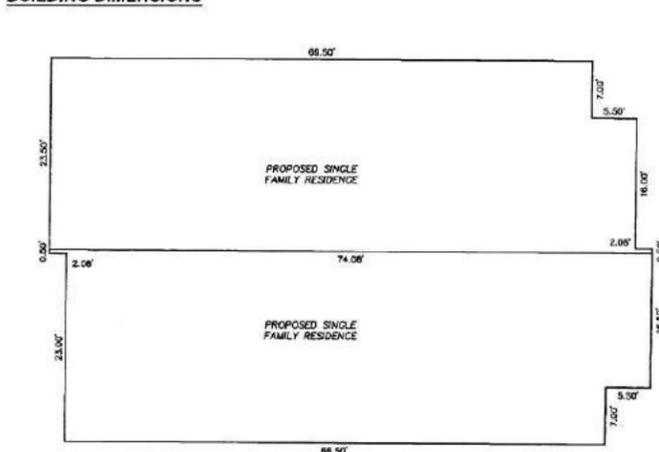
EXISTING COVERAGE

LOT AREA =	9,679 SF
IMPERVIOUS COVERAGE =	0 SF
STRUCTURES =	118 SF
PAVEMENT =	118 SF
TOTAL IMPERVIOUS COVERAGE =	236 SF

PROPOSED COVERAGE

LOT AREA =	9,679 SF
IMPERVIOUS COVERAGE =	3,368 SF
STRUCTURES =	1,761 SF
PAVEMENT =	1,761 SF
TOTAL IMPERVIOUS COVERAGE =	5,090 SF

BUILDING DIMENSIONS



WESTMONT GRADING PLAN
230 S. CASS AVENUE
WESTMONT, ILLINOIS

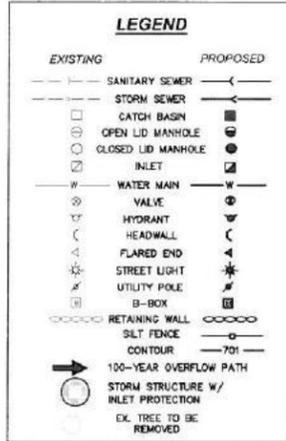
MARTIN M. Engineering, Inc.
CONSULTING AND SITE DESIGN CIVIL ENGINEERS
2012 CANYWOOD DRIVE
MOKENA, ILLINOIS 60449
VOICE: (708) 995-1322
FAX: (708) 995-1384

DRAWN BY: SRW	CHECKED BY: BMM	
SCALE: 1"=10'	DATE: 05/14/14	
JOB NUMBER: 13-182	SHEET: 1 OF 3	
#	DATE	DESCRIPTION

STORMWATER PLAN

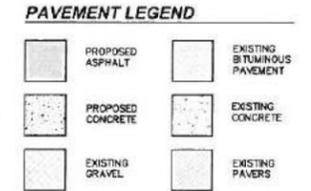
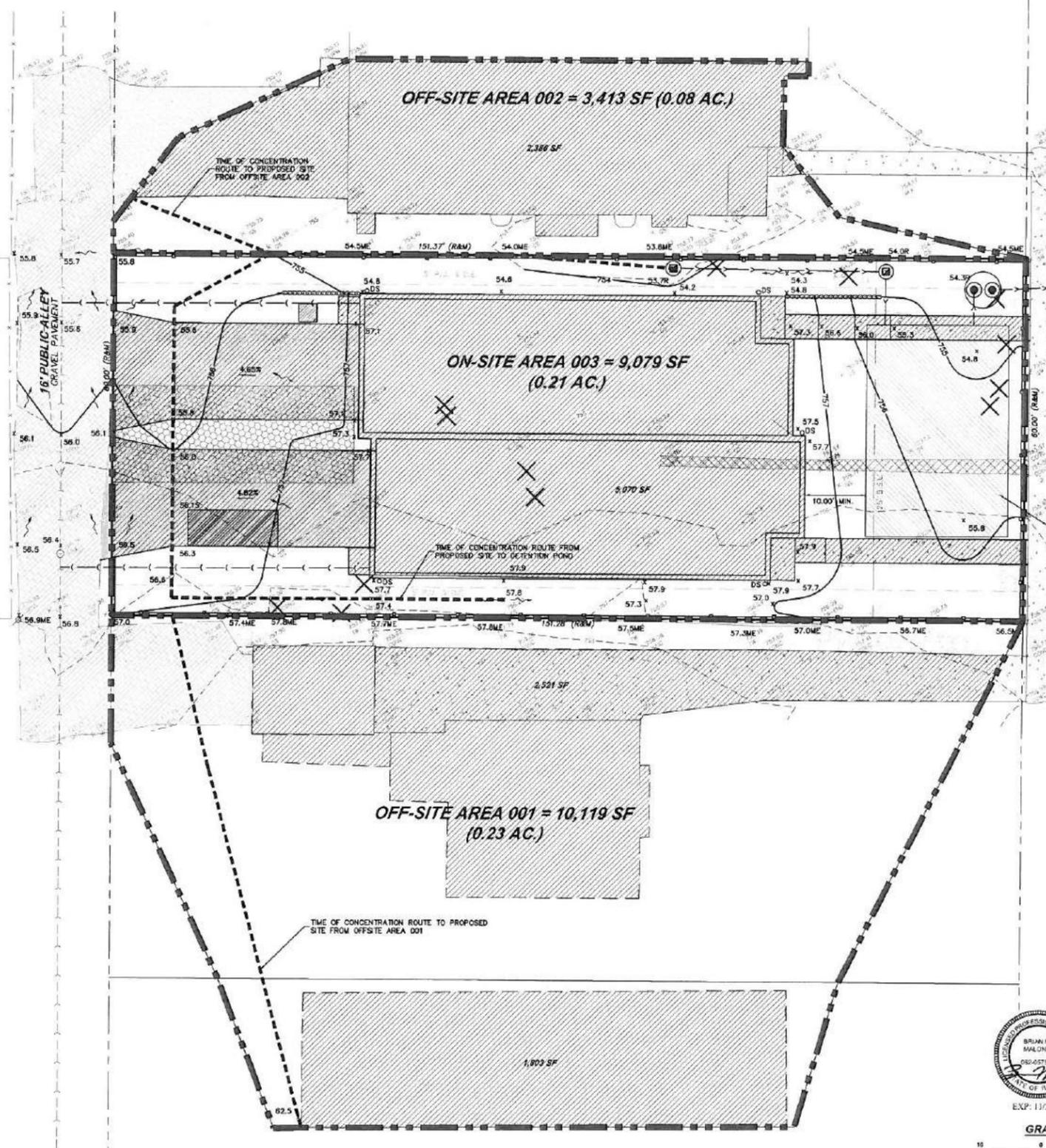
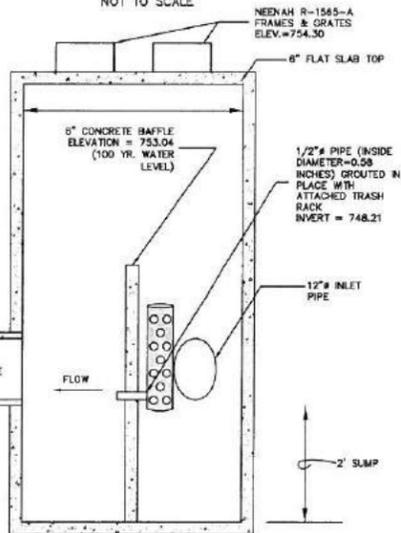
LOT 8 IN BLOCK 15 IN WESTMONT, BEING A SUBDIVISION BY ARTHUR T. MCINTOSH AND COMPANY OF THE SOUTHEAST 1/4 AND PART OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF SECTION 9, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.
PIN# 09-09-421-018

PROPOSED PLAN



RESTRICTOR STRUCTURE

NOT TO SCALE



ABBREVIATIONS:

XXX.ME MATCH EXISTING ELEVATION
TF TOP OF FOUNDATION
ME MATCH EXISTING GARAGE FLOOR
DS DROP SIDING ELEVATION
BL BRICK LEDGE ELEVATION

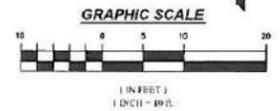
XXXX SPOT GRADE W/ FLOW DIRECTION
NOTE: ADD 700 TO ALL PROPOSED SPOT GRADES

NOTE:

THE EXISTING PAVED DRIVE LANE AREAS WHERE SHOWN TO FROM THE DUPAGE COUNTY PLATT CONTAIN LEGAL LOCATIONS IN THE COUNTY RECORDS.

DIRECTIVE NO. 1
April 7, 2005
REQUIRED NOTES FOR ANY PUBLIC IMPROVEMENT WORK

- Construction operations shall be confined to the period beginning at 7:00 AM and ending at 7:00 PM, except for emergency situations. Each site development contractor shall request ongoing inspections at least once per 24 hours prior to performing any work.
- Construction of pavement, curb and gutter, and structures shall conform to the Illinois Department of Transportation's "Standard Specifications for Road and Bridge Construction", latest edition, and the "Standard Specifications for Village of Westmont, Illinois", latest revision.
- All storm sewer and water line construction shall be in accordance with the latest edition of the "Standard Specifications for Water and Sewer Main Construction in Illinois".
- All areas disturbed by the construction shall be restored to equal or better condition. Surface restoration of canyons shall consist of a minimum of four (4) inches of topsoil and seed.
- The contractor is advised that mud and debris must not be deposited on the adjacent roadways. Any dirt and debris accumulated on the pavement must be cleaned by the contractor within four (4) hours of the incident.
- New Portland Cement Concrete sidewalks shall be a minimum of five (5) inches thick, using Class X mix concrete. Expansion joints shall be located a maximum of fifty (50) feet apart. Construction joints shall be spaced approximately five (5) feet apart, but no more than six (6) feet and no less than four (4) feet. If wooden forms are used, 2 x 4's shall not be allowed, but 2 x 6's are acceptable.
- New Portland Cement Concrete Curbing or Curb and Gutter shall be six (6) inch concrete. Professional submittals shall be 24 inch in thickness shall be spaced a maximum of fifty (50) feet apart. Formed or saw-cut contraction joints shall be spaced a maximum of ten (10) feet apart and sealed with a neoprene sealant.
- Prior to excavation and grading erosion control measures shall be provided whenever runoff is likely to leave the site or enter the public storm drainage system.
- Where stormwater detention is being provided as part of the plans, a certification from a registered professional engineer will be required prior to final engineering approval indicating that the required amount of detention and release rate has been provided.
- At the completion of the project two (2) sets of Record Drawings are to be submitted to the Village showing the locations of all utilities, underground conduits, towers, structures, partition walls and grade elevations, and an "As-Built" survey of the detention in conjunction with supporting calculations from a Licensed Professional Engineer confirming the volume of the "As-Built" detention basin. Upon approval of the Record Drawings, one (1) complete set of master transparencies, two (2) additional copies, and an electronic file of the approved Record Drawings are to be submitted to the Village. This electronic file shall be in AutoCAD (.dwg) format, or if not available, IAI format (.ip).



WESTMONT GRADING PLAN

230 S. CASS AVENUE
WESTMONT, ILLINOIS

STORMWATER PLAN

DRAWN BY: SRW CHECKED BY: BMM
SCALE: 1"=10' DATE: 05/16/14
JOB NUMBER: 13-182 SHEET: 2 OF 3

MARTIN Engineering, Inc.
CONSULTING AND SITE DESIGN CIVIL ENGINEERS
20123 OAKWOOD DRIVE
MOKENA, ILLINOIS 60448
VOICE: (708) 995-1329
FAX: (708) 995-1384

NO.	DATE	DESCRIPTION

GEOGRAPHIC DESIGN CRITERIA
 ROOF SNOW LOAD- 34 LBS.
 WIND SPEED 90 MPH.
 SEISMIC DESIGN CATEGORY - B
 FROST LINE DEPTH - 42"
 WINTER DESIGN TEMPERATURE = - 10 DEGREES FAHRENHEIT

NOTE: FLASHING (METAL OR PLASTIC) AND KEEP HOLES ABOVE ALL EXTERIOR DOORS AND WINDOW OPENINGS IN THE MASONRY VENEER EACH STRUCTURE TO WHICH A STREET NUMBER HAS BEEN ASSIGNED SHALL HAVE SUCH NUMBER DISPLAYED IN A POSITION EASILY OBSERVED AND READABLE FROM THE PUBLIC. ALL NUMBERS SHALL BE IN ARABIC NUMERALS AT LEAST 4" HIGH 1/2" STROKE PROVIDE A MAX. U-VALUE OF .32 FOR ALL DOORS AND WINDOWS.

THE CONTRACTOR MUST CHECK ALL DIMENSIONS, DETAILS AND JOIST CONDITIONS AND BE RESPONSIBLE FOR THEM. THE FIRM SHALL NOT BE HELD RESPONSIBLE FOR CONSTRUCTION METHODS OR MEANS BY THE CONTRACTOR AND OR ANY SUBCONTRACTOR AND THEIR TRADESMEN.

ALL TRADES MUST CONFORM TO CURRENT EXISTING CODES APPLYING TO THIS PROJECT. CONTRACTORS TO VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE EXECUTING ANY WORK. REPORT ANY DISCREPANCIES AT ONCE. DO NOT SCALE DRAWINGS USE FIGURED DIMENSIONS ONLY.

ALL BEDROOMS SHALL HAVE AT LEAST ONE "EGRESS WINDOW" SEE CODE BOOK.

UNIT GLASS AND/OR MULTIPLE UNIT GLASS SHALL BE INSULATED TEMPERED SAFETY GLASS PER ANSI SPC-1.

EXTERIOR WINDOWS AND GLASS DOORS SHALL BE TESTED BY AN APPROVED INDEPENDENT LABORATORY AND BEAR A LABEL IDENTIFYING MANUFACTURER, PERFORMANCE CHARACTERISTICS AND APPROVED INSPECTION AGENCY TO INDICATE COMPLIANCE WITH ANSI/AAMA/NWFA. IT SHALL BE DESIGNED TO A MINIMUM DESIGN PRESSURE OF 30 LBS/FT².

ROOF LIVE LOAD =	30 PSF
HORIZONTAL WIND LOAD (AS PER 3-56C, 6057) LESS THAN 30' =	15 PSF
30' TO 40' =	20 PSF
BALCONIES AND DECKS (EXTERIOR) =	60 PSF
GARAGES (PASSENGER CARS ONLY) =	50 PSF
ATTICS (NO STORAGE WITH ROOF SLOPE NOT STEEPER THAN 3/12) =	10 PSF
ATTICS (LIMITED ATTIC STORAGE) =	20 PSF
DWELLING UNITS (EXCEPT SLEEPING ROOMS) =	40 PSF
SLEEPING ROOMS =	30 PSF
STAIRS =	40 PSF
PARTITIONS OR WALLS (INTERIOR), HORIZONTALLY & PSF	



FRONT ELEVATION 3/16" = 1'-0"

- NOTE:
1. ALL FLASHING SHALL COMPLY WITH SHACMA RECOMMENDATIONS FOR FLASHING.
 2. CONTRACTOR SHALL LOCATE AND INSTALL GUTTERS AND DOWNSPOUTS AS REQUIRED.
 3. INSTALL ICE AND WATER SHIELD 2'-0" FROM INTERIOR OF WALL TO GUTTER.
 4. FLASHING AT ALL ROOF VALLEYS.
 5. ANY RAFTER SPANS OVER 15' SHALL BE 2x10'S OR PURLIN WALL SHALL BE BUILT TO SUPPORT RAFTERS.
 6. PROVIDE COLLAR TIES FOR ROOF RAFTERS @ 48" O.C.
 7. VENTILATION OPENING SHALL BE PROVIDED WITH CORROSION-RESISTANT WIRE MESH, WITH 1" MIN. TO 1" MAX OPENINGS.



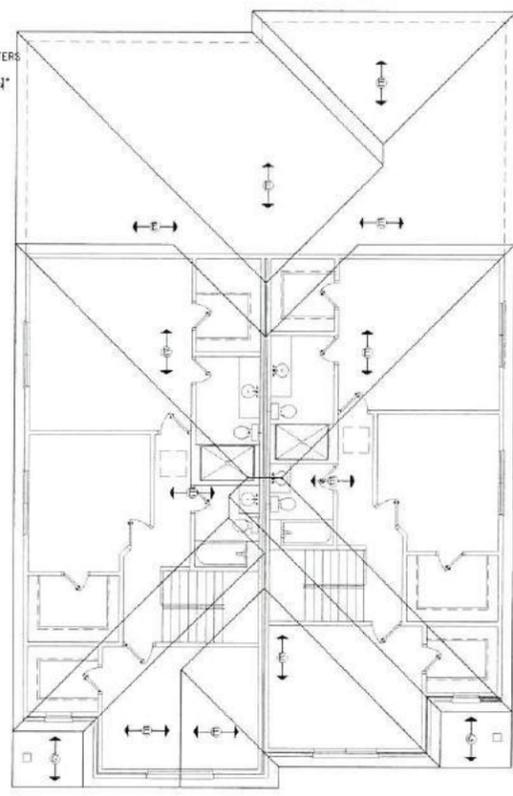
LEFT ELEVATION 1/8" = 1'-0"



RIGHT ELEVATION 1/8" = 1'-0"



REAR ELEVATION 1/8" = 1'-0"



ROOF PLAN 1/8" = 1'-0"

RAFTER SCHEDULE

A	2 x 12 @ 16" O.C. (HEM-FR (N))	MAX SPAN OF 22'-3"
B	2 x 12 @ 17" O.C. (HEM-FR (N))	MAX SPAN OF 25'-9"
C	2 x 10 @ 16" O.C. (S.P.F. #2)	MAX SPAN OF 21'-4"
D	2 x 10 @ 15" O.C. (S.P.F. #2)	MAX SPAN OF 18'-5"
E	2 x 8 @ 15" O.C. (S.P.F. #2)	MAX SPAN OF 15'-11"
F	2 x 8 @ 12" O.C. (S.P.F. #2)	MAX SPAN OF 17'-5"
G	2 x 6 @ 10" O.C. (S.P.F. #2)	MAX SPAN OF 11'-11"
H	2 x 6 @ 12" O.C. (S.P.F. #2)	MAX SPAN OF 13'-9"

GENERAL NOTES

1. INCLUDED AS PART OF THESE DOCUMENTS IS THE "GENERAL CONDITIONS FOR CONSTRUCTION", AIA DOCUMENT A-201, ARTICLE 1 THRU 14 INCLUSIVE.
2. GENERAL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH ALL CITY, STATE AND NATIONAL CODES AND ORDINANCES.
3. MAINTAIN THROUGHOUT THE CONSTRUCTION PERIOD, A CERTIFICATE OF INSURANCE FOR ALL LIABILITIES, WITH A HOLD HARMLESS CLAUSE, PROTECTING THE OWNER AND ARCHITECT.
4. ALL WORK SHALL COMPLY WITH THE REQUIREMENTS, POLICIES AND PROCEDURES OF THE OWNER.
5. ALL WORK SHALL BE OF THE HIGHEST QUALITY FOLLOWING THE CONTRACT DOCUMENTS, PROJECT SPECIFICATIONS AND RECOMMENDATIONS, AND THE BEST ACCEPTED TRADE PRACTICES AND STANDARDS.
6. THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF THE ARCHITECTURAL DESIGN CONCEPT, DIMENSIONS, MAJOR ELEMENTS AND MATERIALS. THESE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR THE FULL COMPLETION OF THE PROJECT. THE GENERAL CONTRACTOR AND HIS SUBCONTRACTOR SHALL FURNISH ALL OF THOSE ITEMS AND LABOR REQUIRED FOR THE FULL COMPLETION OF THIS PROJECT. ACCEPTANCE BY THE OWNER SHALL BE CONDITIONS OF THE CONTRACT.
7. THE CONTRACTOR SHALL INVESTIGATE, VERIFY AND BE RESPONSIBLE FOR ALL REQUIREMENTS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT OF ANY CONDITIONS CONTRARY TO THE CONSTRUCTION DOCUMENTS THAT REQUIRE MODIFICATION BEFORE PROCEEDING WITH THE WORK.
8. THE CONTRACTOR SHALL PROTECT ALL EXISTING SITE ELEMENTS FROM DAMAGE DUE TO THE CONSTRUCTION OPERATION, AND REPAIR OR REPLACE ANY ELEMENTS DAMAGED DURING THE PROJECT.
9. DRAWINGS AND SPECIFICATIONS ARE TO BE ISSUED TO THE SUBCONTRACTORS IN COMPLETE SETS SO THAT THE FULL EXTENT OF WORK IS SHOWN AND COORDINATION OF WORK IS MADE POSSIBLE.
10. THE GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL INCOMING UTILITIES.

DIMENSIONS

11. DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS SHALL GOVERN. THESE DRAWINGS MAY HAVE BEEN REPRODUCED AT A SIZE DIFFERENT THAN ORIGINALLY DRAWN. DO NOT SCALE DRAWINGS.
12. THE GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL VERIFY ALL PARTITION LAYOUTS AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH ANY FRAMING.
13. THE GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS AND CONDITIONS BEFORE EXECUTION OF ANY WORK AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT IN WRITING.

COORDINATION

14. REFER TO SITE SURVEY FOR SITE INFORMATION. CONTRACTOR TO VERIFY ALL INFORMATION.
15. THE GENERAL CONTRACTOR SHALL COORDINATE ADDITIONAL SUPPORT OR CONCEALED BLOCKING FOR INSTALLATION OF HANDRAILS, MILLWORK, WALL PANELS, WINDOW TREATMENTS, GRAB BARS AND ALL OTHER SURFACE MOUNTED COMPONENTS.
16. THE GENERAL CONTRACTORS/SUBCONTRACTORS SHALL COMPLETELY HOOD-UP AND CONNECT ALL EQUIPMENT AND FURNISH ALL NECESSARY APPENDAGES. THE COMPLETED SYSTEMS SHALL BE FULLY OPERATIONAL.
17. THE PREMISES SHALL BE KEPT IN A BROOM SWEEP FINISH CONDITION DURING ALL PHASES OF THE CONSTRUCTION. ALL CONTRACTORS AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR CLEANING UP AND DISPOSING OF THEIR LITTER AND LEFT OVER MATERIALS ON A REGULAR BASIS AND LEAVE THE PROJECT IN A BROOM FINISH CONDITION UPON COMPLETION OF THEIR PORTION OF THIS PROJECT.
18. ALL WORK SHALL BE COORDINATED WITH ALL OTHER TRADES IN ORDER TO AVOID INTERFERENCES, PRESERVE MAXIMUM HEAD ROOM AND AVOID QUESTIONS.
19. THE GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY FENCING AND BARRICADES AROUND THE ENTIRE SITE AS REQUIRED BY THE CITY OF CHICAGO TO BE PROTECTED AND AT ANY OPENINGS THAT MIGHT PRESENT A HAZARD.

CODES AND STANDARDS

20. INTERIOR FINISHES SHALL NOT EXCEED CLASS 1, 0-25 FLAMESPREAD, 200 SMOKE.
21. RECESSED FIXTURES IN INSULATED CEILINGS MUST BE ENERGY APPROVED TYPE.
22. PROVIDE 1" MIN. CLEARANCE BETWEEN "B" LABEL FLUES AND ANY COMBUSTIBLE MAT'L PROVIDED THAT THE FIRST 3'-0" ABOVE THE FURNACE HAS 3" CLEARANCE.
23. LOW TEMPERATURE CHIMNEYS SHALL EXTEND TO A HEIGHT NOT LESS THAN 3'-0" ABOVE THE ROOF AT THE POINT OF INTERSECTION AND NOT LESS THAN 2'-0" ABOVE ANY ROOF WITHIN 10'-0" OF SUCH CHIMNEY EXCEPT CHIMNEYS ON A ROOF SLOPED MORE THAN 15 DEGREES MAY EXTEND NOT LESS THAN 2'-0" ABOVE THE RIDGE.
24. HANDRAIL HEIGHTS OR STAIRS SHALL BE 2'-10" ABOVE THE nosing. HANDRAIL HEIGHTS AT LANDING SHALL BE 3'-0" A.T.F.
25. ALL DOORS USED IN CONNECTION WITH EXITS SHALL BE SO ARRANGED AS TO BE READILY OPENED WITHOUT USE OF A KEY FROM THE SIDE FROM WHICH EGRESS IS MADE.
26. ALL GLAZED DOORS, ALL SKYLIGHTS AND ALL GLAZED PANELS MORE THAN 18" IN WIDTH IMMEDIATELY ADJACENT TO ANY DOOR WHERE THE SILL OF THE GLAZED PANEL IS LESS THAN 24" ABOVE THE FLOOR SHALL BE GLAZED WITH SAFETY GLAZING MATERIALS. NO WINDOW SILLS SHALL HAVE A SILL HEIGHT OF LESS THAN 2'-0" ABOVE THE FLOOR UNLESS NOTED OTHERWISE.
27. ALL OPENINGS, IN FIRE RATED FLOORS AND WALLS INCLUDING SPACES BETWEEN DUCTS, PIPES, CONDUIT, ETC SHALL BE CLOSED OFF BY AN APPROVED FIRE SAFING MATERIAL TO MAINTAIN FIRE RATING CONTINUITY OF THE FIRE RATED FLOOR AND WALL CONSTRUCTION. ALL OPENINGS AND PENETRATIONS SHALL BE SEALED TO PREVENT THE PASSAGE OF SMOKE AND FLAMES IN FIRE RATED ASSEMBLIES.

PROVIDE ICE BARRIER THAT CONSISTS OF AT LEAST TWO LAYERS OF UNDERLAYMENT GEMENTED TOGETHER OR OF A SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET, THAT EXTENDS FROM THE EAVES EDGES TO A POINT AT LEAST 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE BUILDING.

NOTE: FLASHING (METAL OR PLASTIC) AND KEEP HOLES ABOVE ALL EXTERIOR DOORS AND WINDOW OPENINGS IN THE MASONRY VENEER.

NOTE: ALL ROOF JOISTS, FLASHING MUST BE BENT AND CUT INTO BRICK MORTAR JOINTS.



CERTIFICATION

I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION, AND THAT THEY TO THE BEST OF MY KNOWLEDGE, COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES OF THE GOVERNING BODY HAVING JURISDICTION.

IAN McDONNELL - ILLINOIS REGISTRATION NO. 001-028866
 LICENSE EXPIRES 11.30.2014 DATE SIGNED: _____

IJM Group, Inc.
 "Delivering with the Future in Mind"
 Ph: 708-404-4451

Two-Story Townhomes
 250 S Cass Ave.
 Westmont, IL

11.18.2014

2013-158

A-1.0

NOTE: SEE PLANS & ELEVATIONS FOR DIRECTION OF OPERABLE DOORS & WINDOWS.

- IT IS THE RESPONSIBILITY OF BOTH THE GENERAL CONTRACTOR (OR OWNER IF ACTING AS GENERAL CONTRACTOR) AND THE DOOR / WINDOW SUPPLIER TO VERIFY THAT ALL ROUGH / MASONRY OPENINGS AND DIMENSIONS ARE CORRECT AND ADEQUATE FOR THE PROPER INSTALLATION OF ALL DOORS / WINDOWS SUPPLIED.
- WINDOWS SHALL BE VINYL TYPE MANUFACTURED BY "JELD WEN" WINDOWS AND SHALL BE OF SIZE AND OPERATION AS INDICATED ON THE DRAWINGS.
- ANY ADDITIONAL WORK REQUIRED, INCLUDING CAULKING, FINISHING, BUCKING, AND ADDITIONAL MASONRY OR CARPENTRY WORK TO PROVIDE A COMPLETELY FINISHED DOOR / WINDOW INSTALLATION IS THE RESPONSIBILITY OF THE SUPPLIER UNLESS THE ARCHITECT IS SPECIFICALLY NOTIFIED, IN WRITING, OF ALTERNATE ARRANGEMENTS.
- NO ALTERATION TO THE DOORS OR WINDOWS THAT ALTER THE AMOUNT OF LIGHT OR VENTILATION PROVIDED ARE ALLOWED UNLESS APPROVED, IN WRITING, BY THE ARCHITECT. IT IS THE WINDOW SUPPLIER'S RESPONSIBILITY TO PROVIDE LIGHT AND VENTILATION INFORMATION FOR ALL WINDOWS UPON SUBMISSION FOR PROPOSAL.
- PROVIDE AND INSTALL BLOCKING AND FINISHING AT ALL DOOR AND WINDOW HEADS. BLOCKING TO BE PRESERVATIVE TREATED TYP.
- ALL GLAZED DOORS, SKYLIGHTS AND ALL GLAZED PANELS MORE THAN 18" IN WIDTH IMMEDIATELY ADJACENT TO ANY DOOR WHERE THE SILL OF THE GLAZED PANEL IS LESS THAN 24" ABOVE THE FLOOR, SHALL BE GLAZED WITH SAFETY GLAZING MATERIALS.
- ALL WINDOWS TO BE VINYL WITH THERMAL BREAK WITH 1" INSULATION GLASS.

FLOORS:
WHEN THE FLOOR FINISH IS NOT LAID DIRECTLY ON THE FLOOR SLAB OR BASE, THE SPACE BETWEEN THE FLOOR FINISH AND THE SLAB OR BASE SHALL BE FIRESTOPPED IN SUCH A MANNER THAT THERE WILL BE NO OPEN SPACES UNDER THE FLOOR FINISH WHICH WILL EXCEED 100 SQ. FT. IN AREA. FLOORS CONSTRUCTED OF CONCRETE SHALL BE FIRESTOPPED AT WALLS AND PARTITIONS. ALL FLOORS SHALL BE FIRESTOPPED WHERE OPENINGS THROUGH THE FLOOR OCCUR. WHEN JOISTS RUN PARALLEL TO THE WALL, THE JOIST NEAREST THE WALL SHALL BE TIGHT AGAINST THE WALL.

(1) FIRESTOPPING SHALL BE PROVIDED IN ALL WALLS AND PARTITIONS TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH HORIZONTAL AND VERTICAL, AND TO PROVIDE AN EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN THE UPPER STORY AND ROOF SPACE.

(2) IN BUILDINGS OF CONSTRUCTION TYPES IV AND V, ALL STUD PARTITIONS AND WALLS SHALL BE FIRESTOPPED AT THE FLOOR AND CEILING AND AT INTERMEDIAL POINTS AS MAY BE REQUIRED TO LIMIT ANY EXCESSIVE VERTICAL CHIMNEY EFFECT TO 6 FEET IN HEIGHT. IN BUILDINGS OF CONSTRUCTION TYPES IV AND V, WHERE WALLS ARE FURRED, THE SPACE BETWEEN THE INSIDE OF THE FURRING AND THE FACE OF THE WALL SHALL BE FIRESTOPPED FOR THE FULL DEPTH OF THE COMBUSTIBLE FLOOR OR ROOF JOISTS.

ATTIC SPACES:
IN BUILDINGS OF CONSTRUCTION TYPES IV AND V, ATTIC SPACES SHALL BE SUBDIVIDED INTO AREAS NOT EXCEEDING 3,000 SQ. FT. BY MEANS OF PARTITIONS OF NOT LESS THAN ONE-HALF (1/2) HOUR FIRE RESISTIVE CONSTRUCTION, TIGHTLY FITTED AROUND DUCTS OR OTHER ASSEMBLIES PIERCING SUCH PARTITIONS. ANY DOORS IN SUCH PARTITIONS SHALL BE OF INCOMBUSTIBLE CONSTRUCTION OF AFFORD PROTECTION EQUAL TO THE ASSEMBLY IN WHICH THEY EXIST; SUCH DOORS SHALL BE TIGHT FITTING.

STAIRS:
WHEN STAIRS ARE OF COMBUSTIBLE CONSTRUCTION, THE SPACE BETWEEN STAIR STRINGERS SHALL BE FIRESTOPPED AT TOP AND BOTTOM AND AT LEAST ONCE IN THE MIDDLE OF EACH RUN, AND FIRESTOPPING SHALL ALSO BE PROVIDED BETWEEN STUDS OF ADJACENT STAIR PARTITIONS ALONG AND IN LINE WITH THE RUN OF THE STAIRWAY.

OPENINGS IN FLOORS AND ROOFS
ALL VERTICAL OPENINGS THROUGH FLOORS AND CEILINGS NOT SPECIFICALLY MENTIONED ABOVE SUCH AS SPACES AROUND PIPES, CONDUITS, POWER SHAKING OR DUCTS SHALL BE FIRE-STOPPED. OPENINGS FOR BELTS AND CONVEYORS SHALL BE PROVIDED WITH INCOMBUSTIBLE SLOTTED DOORS OR BE OTHERWISE CLOSED OFF.

CHIMNEYS AND MANTELS:
ALL SPACES BETWEEN CHIMNEYS AND ROOF JOISTS, BEAMS, OR HEADERS SHALL BE FIRE STOPPED BY PLACING INCOMBUSTIBLE MATERIAL TO A DEPTH OF ONE INCH AT THE BOTTOM OF SPACES. ALL SPACES BACK OF COMBUSTIBLE MANTELS SHALL BE FILLED WITH INCOMBUSTIBLE MATERIAL.

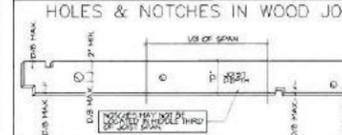
MINIMUM R-VALUES:
R-48 CEILING
R-20 OR R-13 INSULATION +5 RIGID INSULATION WALLS
R-15 VAULTED ROOF
R-31 FLOORS
R-15 BASEMENT WALLS
R-19 SLAB PERIMETER
R-20 CRAWL SPACE WALLS

LINTEL SIZE FOR MASONRY BUILDINGS

OPENING	SIZES
4'-0"	L 3 1/2" X 3 1/2" X 5/16"
5'-0"	L 3 1/2" X 3 1/2" X 5/16"
6'-0"	L 4" X 3 1/2" X 5/16"
7'-0"	L 4" X 3 1/2" X 5/16"
8'-0"	L 5" X 3 1/2" X 5/16"
9'-0"	L 5" X 3 1/2" X 3/8"
10'-0"	L 6" X 3 1/2" X 3/8"

FRAMING NOTES TABLE R502.3.1 (2)

RESIDENTIAL LIVING AREAS	JOIST SPACING	SPECIES/GRADE	DEAD LOAD = 10 PSF			DEAD LOAD = 20 PSF		
			2x8	2x10	2x12	2x8	2x10	2x12
12 O.C.	HEM FIR #2	13-2	16-10	20-4	13-1	16-0	18-6	
	SPF #2	13-6	17-3	20-7	13-3	16-3	18-10	
16 O.C.	HEM FIR #2	12-0	15-2	17-7	11-4	13-10	16-1	
	SPF #2	12-10	16-1	18-10	12-4	14-8	17-2	
RESIDENTIAL SLEEPING AREAS	JOIST SPACING	SPECIES/GRADE	DEAD LOAD = 10 PSF			DEAD LOAD = 20 PSF		
			2x8	2x10	2x12	2x8	2x10	2x12
12 O.C.	HEM FIR #2	14-0	18-6	22-6	14-4	17-6	20-4	
	SPF #2	14-11	19-0	23-0	14-7	17-9	20-7	
16 O.C.	HEM FIR #2	13-2	16-10	19-8	12-0	15-2	17-7	
	SPF #2	14-2	18-0	21-1	13-6	16-1	18-10	



ENERGY NOTES:

- A PERMANENT CERTIFICATE SHALL BE POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL CERTIFICATE SHALL BE COMPLETED BY THE BUILDER, AND SHALL LIST THE PREDOMINANT R-VALUES OF INSULATION INSTALLED IN OR ON CEILING/ROOF, WALLS, FOUNDATION, AND DUCTS OUTSIDE CONDITIONED SPACES.
- ACCESS DOORS FROM CONDITIONED SPACES TO UNCONDITIONED SPACES SHALL BE WEATHERSTRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES.
- NEW WOOD BURNING FIREPLACES SHALL HAVE GASKETED DOORS AND OUTDOOR COMBUSTION AIR.
- WHERE THE PRIMARY HEATING SYSTEM IS A FORCED-AIR FURNACE AT LEAST ONE THERMOSTAT PER DWELLING UNIT SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INCLUDE THE CAPABILITY TO SET BACK OR TEMPORARILY OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED WITH A HEATING TEMPERATURE SET POINT NO HIGHER THAN 70 F AND A COOLING TEMPERATURE NO LOWER THAN 78 F.
- SUPPLY DUCTS IN ATTICS SHALL BE INSULATED TO A MINIMUM OF R-8.
- ALL DUCTS, AIR HANDLERS, FILTER BOXES AND BUILDING CAVITIES USED AS DUCTS SHALL BE SEALED JOINTS AND SEAMS SHALL COMPLY WITH SECTION MFG 4.1 OF IRC.
- BUILDING FRAMING CAVITIES SHALL NOT BE USED AS SUPPLY DUCTS.
- BUILDING SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING 5 AIR CHANGES PER HOUR. INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH UNDERSIDE OF CEILING BEARING.
- THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.
- CORNERS AND HEADERS SHALL BE INSULATED AND THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED.
- KNEE WALLS SHALL BE SEALED.
- RECESSED LIGHTING INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. ALL RECESSED LIGHTING SHALL BE 10-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE NOT MORE THAN 2.0 CFM WHEN TESTED IN ACCORDANCE WITH ASTM E 283 AT A 1.57 PSF PRESSURE DIFFERENTIAL. ALL RECESSED LIGHTING SHALL BE GASKET OR CALKED BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVER.
- INSULATION FOR HOT WATER PIPES WITH A MINIMUM THERMAL RESISTANCE OF R-3 SHALL BE APPLIED TO THE FOLLOWING:
 1. PIPING LARGER THAN 1"
 2. PIPING SERVING MORE THAN ONE DWELLING UNIT
 3. PIPING FROM THE WATER HEATER TO KITCHEN DRAINS
 4. PIPING LOCATED OUTSIDE THE CONDITIONED SPACE
 5. PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD
 6. PIPING LOCATED UNDER A FLOOR SLAB
 7. BURIED PIPING
 8. SUPPLY AND RETURN PIPING IN REGRULATING SYSTEMS
 9. PIPING WITH RUN LENGTHS GREATER THAN THE MAXIMUM RUN LENGTHS FOR THE NOMINAL PIPE GIVEN: $R = 30$, $T = 20$, $F = 10$, $S_2 = 5$

LUMBER BASE VALUES

JOISTS - SPACE-FIN (OR NO. 1/NO. 2) OR BETTER.
F₁=875 p.s.i., F_y=70 p.s.i., E=1,400,000 p.s.i.

JOISTS, HEADERS AND BEAMS - HEM-FRONT NO. 1/NO. 2 OR BETTER.
F₁=1000 p.s.i., F_y=75 p.s.i., E=1,600,000 p.s.i.

STUDS (10'-0" AND LESS IN HEIGHT) - STUDS SPACE S-I-F OR BETTER.
F₁=875 p.s.i., F_y=70 p.s.i., E=1,400,000 p.s.i.

STUDS GREATER THAN 10'-0" IN HEIGHT - S-I-F OR NO. 1/NO. 2 OR BETTER.
F₁=875 p.s.i., F_y=70 p.s.i., E=1,400,000 p.s.i.

POSTS AND TREATED LUMBER - SOUTHERN-PINE NO. 2 OR BETTER.
F₁=1,100 p.s.i., F_y=90 p.s.i., E=1,600,000 p.s.i.

LAMINATED STRUCTURAL WOOD BEAMS (CLIP-LAM BEAMS)
F₁=2,400 p.s.i., F_y=150 p.s.i., E=1,900,000 p.s.i.

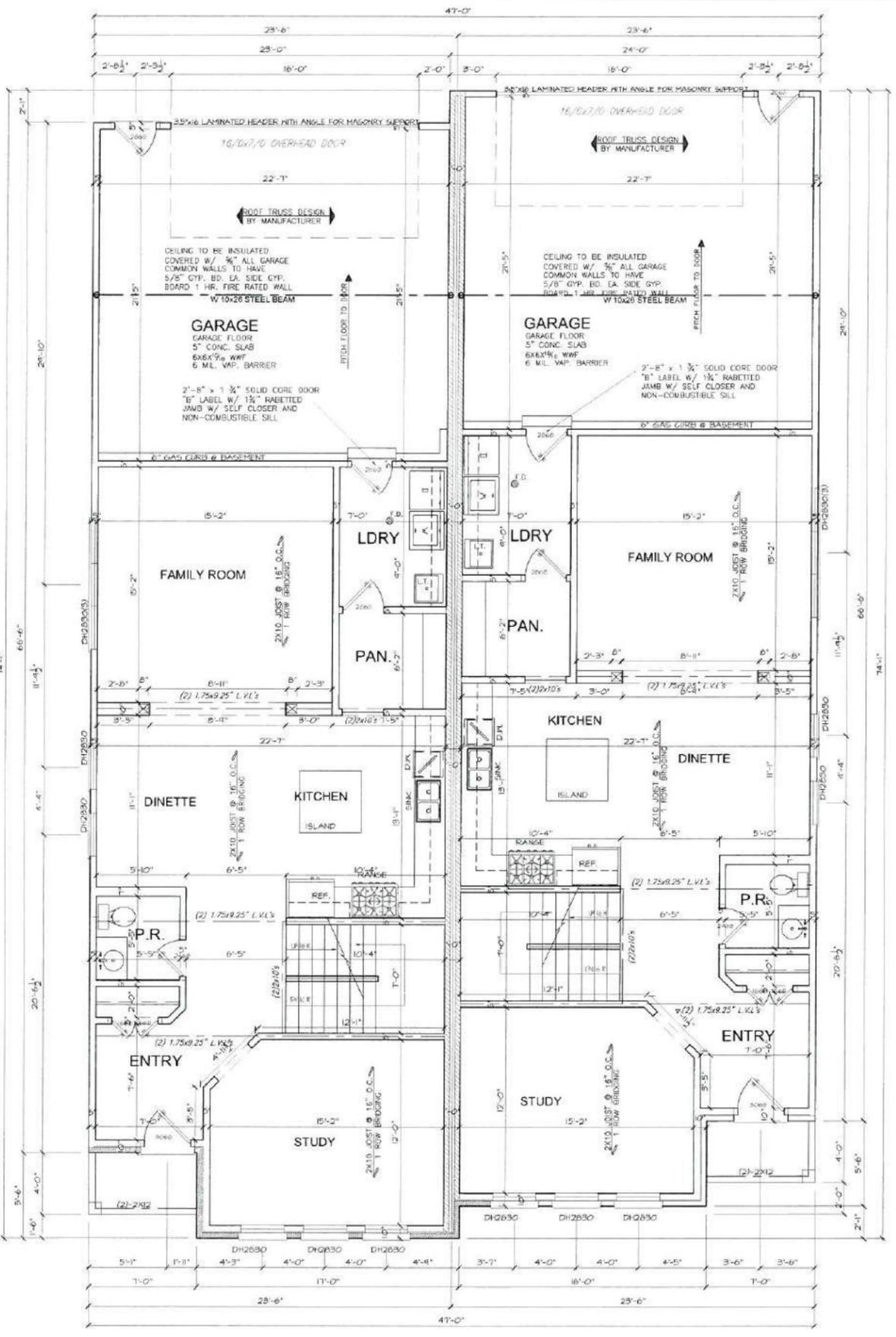
ALL FRAMING MEMBERS DESIGNATED AS "M" SHALL BE LUB O-P LUMBER OR GRADE PAPER OR BETTER.
F₁=2,600 p.s.i., F_y=150 p.s.i., E=1,800,000 p.s.i.

JOISTS FRAMING FROM OPPOSITE SIDES OVER A BEARING SUPPORT SHALL LAP A MIN. OF 3 INCHES AND BE NAILED TOGETHER WITH A MIN. THREE (3) FACE NAILS.

FIRST FLOOR PLAN

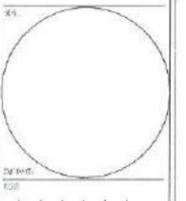
NOTE:
1. FOR ROOF FRAMING, REFER TO TO ROOF PLAN.
2. PROVIDE A MIN. OF (2) 2x12's WITH 1/2" PLYWOOD FLUTE PLATE HEADERS AT ALL 2x4 FRAMED OPENINGS UNLESS OTHERWISE NOTED.
3. PROVIDE LATERAL BLOCKING IN ALL BEARING AND EXTERIOR WALLS UNLESS NOTED OTHERWISE.
4. ALL MATERIAL SELECTIONS AND FINISHES SHALL BE SELECTED BY OWNER.

■ B.P. = BEARING POINT
■ B.P.A. = BEARING POINT ADV.

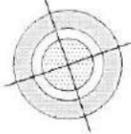


IJM Group, Inc.
"Celebrating with the Future in Mind!"
Ph: 708-404-4451

Two-Story Townhomes
250 S Cass Ave.
Westmont, IL



11.18.2014
2013-158
A-2.1



PRELIMINARY PLAT OF SUBDIVISION

MORRISON SURVEYING CO., INC.

3719 N. IL. Rt. 47, Morris, Illinois 60450
Phone (815) 942-2620 of FAX (815) 941-2620



ELLIOTT ESTATES

BEING A RE-SUBDIVISION OF LOT 8 IN BLOCK 15 IN WESTMONT, BEING A SUBDIVISION BY ARTHUR T. MCINTOSH AND COMPANY OF THE SOUTHEAST 1/4 AND PART OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF SECTION 9, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.
PIN# 09-09-421-018

CERTIFICATE OF OWNERSHIP & SCHOOL DISTRICT CERTIFICATE

STATE OF ILLINOIS) SS
COUNTY OF DUPAGE)

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS(ARE) THE OWNER(S) OF THE LAND DESCRIBED IN THE ATTACHED PLAT AND HAS(HAVE) CAUSED THE SAME TO BE SURVEYED AND PLATTED AS SHOWN BY THE PLAT FOR USES AND PURPOSES AS INDICATED THEREIN, AND DOES(DO) HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED. FURTHERMORE, PURSUANT TO SECTION 1.005 OF THE PLAT ACT, 765 ILCS 205, THIS DOCUMENT SHALL SERVE AS THE SCHOOL DISTRICT STATEMENT. TO THE BEST OF THE OWNER'S KNOWLEDGE, THE TRACT OF LAND DESCRIBED IN THE ATTACHED PLAT LIES IN THE FOLLOWING SCHOOL DISTRICT(S):

SCHOOL DISTRICT NAME AND ADDRESS _____

(SCHOOL DISTRICT NAME AND ADDRESS) _____

(SCHOOL DISTRICT NAME AND ADDRESS) _____

DATED AT , ILLINOIS, THIS DAY OF , .

SIGNATURE OF OWNER OF TRACT (SIGNATURE OF OWNER OF TRACT) _____

CERTIFICATE OF PLANNING & ZONING COMMISSION

STATE OF ILLINOIS) SS
COUNTY OF DUPAGE)

I, _____, CHAIRMAN OF THE VILLAGE OF WESTMONT PLANNING & ZONING COMMISSION, CERTIFY THAT ON THE _____ DAY OF _____, THIS PLAT OF SUBDIVISION WAS DULY APPROVED BY THE PLANNING AND ZONING COMMISSION.

ATTEST: _____

CHAIRMAN SECRETARY

SANITARY DISTRICT CERTIFICATE

STATE OF ILLINOIS) SS
COUNTY OF DUPAGE)

I, _____, EXECUTIVE DIRECTOR FOR THE _____ DISTRICT, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS, OR ANY DEFERRED INSTALLMENTS OF ANY OUTSTANDING UNPAID SPECIAL ASSESSMENTS WHICH HAVE NOT BEEN DIVIDED IN ACCORDANCE WITH THE PROPOSED SUBDIVISION AND DULY APPROVED BY THE COURT THAT CONFIRMED THE SPECIAL ASSESSMENT. DATED AT , ILLINOIS, THIS DAY OF _____

EXECUTIVE DIRECTOR

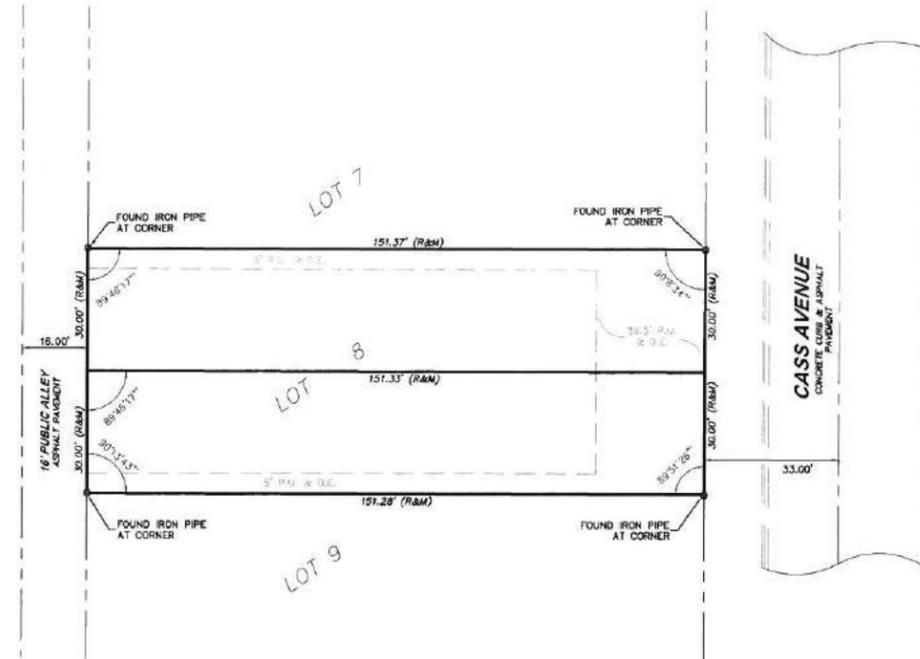
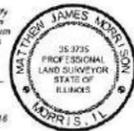
VILLAGE CLERK CERTIFICATE

STATE OF ILLINOIS) SS
COUNTY OF DUPAGE)

I, _____, VILLAGE CLERK OF THE VILLAGE OF WESTMONT, ILLINOIS, HEREBY CERTIFY THAT THIS PLAT WAS PRESENTED TO AND BY RESOLUTION DULY APPROVED BY THE BOARD OF TRUSTEES OF SAID VILLAGE AT ITS MEETING HELD ON _____ AND THAT THE REQUIRED BOND OR OTHER GUARANTEE HAS BEEN POSTED FOR THE COMPLETION OF THE IMPROVEMENTS REQUIRED BY THE REGULATIONS OF SAID VILLAGE. IN WITNESS WHEREOF I HAVE HERE TO SET MY HAND AND SEAL OF THE VILLAGE OF WESTMONT, ILLINOIS, THIS DAY OF . . .

VILLAGE CLERK

State of Illinois
County of DuPage) s.s.
We, MORRISON SURVEYING CO. INC. (PDP License #84-002915) do hereby certify that we have surveyed the property described in the caption to the plat hereon drawn and that this professional service conforms to the current Illinois minimum standards for a boundary survey. All dimensions are in feet and decimal parts of a foot and are correct at a temperature of 68 degrees Fahrenheit. Dimensions shown on buildings are to the outside of buildings. Given under my hand and seal of Morris, Illinois, this _____ day of _____, 2016.
ARTHUR T. MCINTOSH
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-3735 License Expires 11/30/16



PUBLIC UTILITY AND DRAINAGE EASEMENT PROVISIONS

EASEMENTS ARE HEREBY RESERVED FOR AND GRANTED TO THE VILLAGE OF WESTMONT, ILLINOIS AND THOSE PUBLIC UTILITY COMPANIES OPERATING UNDER FRANCHISE FROM THE VILLAGE OF WESTMONT, INCLUDING, BUT NOT LIMITED TO, COMED, SBC, NICOR, AND COMCAST, AND (FLAGG CREEK RECLAMATION DISTRICT OR DOWNERS GROVE SANITARY DISTRICT) AND THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, JOINTLY AND SEVERALLY, OVER ALL OF THE AREAS MARKED "PUBLIC UTILITY AND DRAINAGE EASEMENT" OR MARKED "P.U. & D.E." ON THE PLAT FOR THE PERPETUAL RIGHT, PRIVILEGE AND AUTHORITY TO INSTALL, CONSTRUCT, RECONSTRUCT, REPAIR, INSPECT, MAINTAIN, OPERATE, AND REMOVE FROM TIME TO TIME, FACILITIES USED IN CONNECTION WITH VARIOUS UTILITY TRANSMISSION AND DISTRIBUTION SYSTEMS, INCLUDING ELECTRICITY, SOUNDS AND SIGNALS, GAS PIPELINES, WATER PIPELINES, STORM AND SANITARY SEWERS, AND STORMWATER DRAINAGE PATHS, TOGETHER WITH ANY AND ALL NECESSARY MANHOLES, CATCH BASINS, CONNECTIONS, APPLIANCES, AND OTHER STRUCTURES AND APPURTENANCES AS MAY BE DEEMED NECESSARY, OVER, UPON, ALONG, UNDER, AND THROUGH SAID INDICATED EASEMENTS, TOGETHER WITH RIGHT OF ACCESS ACROSS THE PROPERTY AS NECESSARY. THE RIGHT IS ALSO GRANTED TO CUT DOWN, TRIM, OR REMOVE ANY TREES, ROOTS, SHRUBS, OR OTHER PLANTS ON SAID INDICATED EASEMENTS, AS MAY REASONABLY BE REQUIRED INCIDENT TO THE RIGHTS HEREIN GIVEN, THAT INTERFERE WITH THE OPERATION OF THE DRAINAGE PATH OR UTILITY, AND THE RIGHT TO ENTER UPON THE PROPERTY FOR ALL SUCH PURPOSES.

NO PERMANENT BUILDINGS OR OBSTRUCTIONS SHALL BE PLACED ON SAID INDICATED EASEMENTS, WITHOUT THE PRIOR WRITTEN CONSENT OF GRANTEE, BUT SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING, AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR RIGHTS. AFTER INSTALLATION OF ANY SUCH FACILITIES, THE GRADE OF SAID EASEMENT SHALL NOT BE ALTERED IN A MANNER SO AS TO INTERFERE WITH THE PROPER OPERATION AND MAINTENANCE THEREOF. WHERE SAID INDICATED EASEMENTS ARE USED BOTH FOR DRAINAGE, SEWERS, AND OTHER UTILITIES, THE OTHER UTILITY INSTALLATION(S) SHALL BE SUBJECT TO THE ORDINANCES OF THE VILLAGE OF WESTMONT.

STORMWATER DETENTION EASEMENT PROVISIONS

ALL EASEMENTS INDICATED AS STORMWATER DETENTION EASEMENTS ON THIS PLAT ARE RESERVED FOR AND GRANTED TO THE VILLAGE OF WESTMONT FOR THE BENEFIT OF THE PUBLIC. NO PERMANENT BUILDINGS OR OTHER OBSTRUCTIONS SHALL BE PLACED ON SAID EASEMENT BUT THE SAME MAY BE USED FOR PURPOSES THAT DO NOT ADVERSELY AFFECT THE STORAGE OR FREE FLOW OF STORMWATER AND THE OPERATION OF THE STORMWATER MANAGEMENT SYSTEM. THE OWNER SHALL BE RESPONSIBLE FOR MAINTAINING THE DRAINAGE PATHS AND STORMWATER DETENTION APPLICABLE TO HIS LOT AND SHALL NOT MODIFY GRADES, SLOPES, OR STORMWATER MANAGEMENT FACILITIES WITHOUT HAVING FIRST RECEIVED PRIOR WRITTEN APPROVAL OF THE VILLAGE OF WESTMONT. IN THE EVENT THE OWNER FAILS TO PROPERLY MAINTAIN THE DRAINAGE OR STORMWATER DETENTION AREA EASEMENTS, THE VILLAGE OF WESTMONT AND ANY OTHER UNIT OF GOVERNMENT HAVING JURISDICTION OVER DRAINAGE ON THE SUBJECT PROPERTY AND ANY OWNER OF RECORD OF THE REAL ESTATE (OR PART THEREOF) SHALL, UPON TEN (10) DAYS PRIOR WRITTEN NOTICE, HAVE THE RIGHT TO PERFORM, OR HAVE PERFORMED ON ITS OR THEIR BEHALF, ANY MAINTENANCE WORK TO OR UPON THE STORMWATER DETENTION AREA WHICH IS REASONABLY NECESSARY TO INSURE ADEQUATE STORMWATER STORAGE AND FREE FLOW OF STORM WATER THROUGH THE DETENTION EASEMENT AREA. IN THE EVENT THAT THE VILLAGE OF WESTMONT OR ANY OTHER UNIT OF GOVERNMENT HAVING JURISDICTION OVER DRAINAGE ON THE SUBJECT PROPERTY OR ANY OWNER OF RECORD OF THE REAL ESTATE (OR PART THEREOF), SHALL BE REQUIRED TO PERFORM, OR HAVE PERFORMED ON ITS OR THEIR BEHALF, ANY MAINTENANCE WORK TO OR UPON THE DRAINAGE OR STORMWATER DETENTION AREA EASEMENT, THE EXPENSE THEREOF, INCLUDING ANY ADMINISTRATIVE COSTS, SHALL UPON RECORDATION OF A NOTICE OF LIEN WITHIN SIXTY (60) DAYS OF COMPLETION OF THE WORK, CONSTITUTE A LIEN AGAINST HIS LOT WHICH MAY BE FORECLOSED BY ANY ACTION BROUGHT BY OR ON BEHALF OF THE VILLAGE OF WESTMONT AND/OR OTHER UNIT OF GOVERNMENT HAVING JURISDICTION OVER DRAINAGE ON THE SUBJECT PROPERTY AND/OR ANY OWNER OF RECORD OF THE REAL ESTATE (OR PART THEREOF).

VILLAGE ENGINEER CERTIFICATE

STATE OF ILLINOIS) SS
COUNTY OF DUPAGE)

I, _____, VILLAGE ENGINEER OF THE VILLAGE OF WESTMONT, ILLINOIS, HEREBY CERTIFY THAT THE IMPROVEMENTS DESCRIBED IN THIS PLAT AND THE PLANS AND SPECIFICATIONS THEREFOR MEET THE MINIMUM REQUIREMENTS OF SAID VILLAGE AND HAVE BEEN APPROVED BY ALL PUBLIC AUTHORITIES HAVING JURISDICTION THEREOF. DATED AT WESTMONT, DU PAGE COUNTY, ILLINOIS, THIS _____ DAY OF _____

VILLAGE ENGINEER

NOTARY PUBLIC

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS

I, _____, A NOTARY PUBLIC IN AND FOR THE SAID COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT _____ WHO IS(ARE) PERSONALLY KNOWN TO ME TO BE THE SAME PERSON(S) WHOSE NAME(S) IS (ARE) SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNER(S), APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE (SHE) (THEY) SIGNED AND DELIVERED THE SAID INSTRUMENTS AS HIS (HER) (THEIR) OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____, IN THE YEAR _____

NOTARY PUBLIC

COMMISSION EXPIRES _____

PROFESSIONAL SURVEYORS CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS

I, MATTHEW MORRISON, REGISTERED ILLINOIS PROFESSIONAL SURVEYOR, HEREBY STATE THAT I HAVE HAD THIS PLAT PREPARED FROM EXISTING PLATS AND RECORD FOR THE PURPOSE OF EASEMENT GRANT. I ALSO CERTIFY THAT THESE LOTS LIE WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF WESTMONT, WHICH HAS ADOPTED A MUNICIPAL PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY ARTICLE II, DIVISION 12 OF THE ILLINOIS MUNICIPAL CODE, AS NOW OR HEREFTER AMENDED, DATED IN WESTMONT, ILLINOIS THIS 6TH DAY OF APRIL, A.D., 2016.

BY: *Matthew Morrison*
REGISTERED ILLINOIS PROFESSIONAL SURVEYOR # 35.3735



LEGEND

- FOUND IRON ROD
- FOUND IRON PIPE
- EASEMENT LINE
- BUILDING SETBACK LINE
- PROPOSED PROPERTY LINE
- ORIGINAL PROPERTY LINE
- EXISTING FLOODPLAIN

PROPERTY ADDRESS

230 S. CASS AVENUE
WESTMONT, IL

EX. PROPERTY P.I.N. NUMBER

09-09-421-018

LOT 1 PIN

LOT 2 PIN

NOTE:

RETURN TO:
VILLAGE OF WESTMONT
MUNICIPAL SERVICES
31 W. QUINCY STREET
WESTMONT, IL 60559

AREA OF SUBDIVISION

9,079.43 SQUARE FEET, 0.21 ACRES



Compare All Dimensions Before Building And Report Any Discrepancies At Once. For Building, Easements and other restrictions not shown here refer to your Deed, Title Policy, zoning ordinance, etc.

ORDERED BY: ELLIOTT CARPENTRY
SCALE: 1"=20' JOB NO. 13-182

Old Business

PZ 16-004 SKE Property Investments regarding the property located at 230 South Cass Avenue, Westmont, IL 60559 for the following:

- (A) Zoning Code Variance request for relief from the minimum square feet per building in the R-4 General Residence District.
- (B) Zoning Code Variance request for relief from the maximum allowable density in the R-4 General Residence District.
- (C) Site and Landscaping Plan approval to build a new single-family semi-detached dwelling.
- (D) Preliminary Plat of Subdivision request to split one lot into two buildable lots in the R-4 General Residence District.

PRESENTATION: Ian McDonald, architect for project, discussed their request for variances. They have decided to split the property into two lots. It was presented that the owner cannot get a reasonable return on his investment with the variances, due to the price that he purchased and the economy. There are other buildings similar to the area and what he is proposing. Chairman Richard asked questions regarding the hardships, whether they could acquire additional property on either side to increase the lot size. McDonald replied that both lots next door are already built upon so they could not acquire additional land.

PUBLIC COMMENT: Ron Robinsons, resident in the area, inquired about how close it will be built to the 226 S Cass building, water drainage and lot coverage as there is downward slope and mentioned that he is not sure if the property owners north or south of the property have even been asked if they would sell. Noreiga stated that there will be 12+ feet between the buildings, as the building will be built 6-½ feet from the property line. He also stated that they will be required to install underground detention in order to develop the property. Noreiga mentioned that there will always be a storm that the detention does not contain, but property developer is investing a significant amount in order to provide the water management. Richard asked if there will be a berm. Noreiga mentioned that there are not indicating a berm but they will be grading the property.

Robert V. resident of 226 S Cass, concerned about water issues. He also mentioned that property to south has had some changes and may be interested in selling. He stated there is an existing wall at 230/234. It was stated that the wall could not be removed unless both parties agreed.

STAFF COMMENT: Hennerfeind stated that there is a lot subdivision with the variance request. It does require two variances and site and landscaping plan approval. Last time this was presented as one lot, it was at the recommendation of the Planning and Zoning Commission that the applicant look into subdividing so the units could be sold as owner occupied units. Both lots are 450 sq ft too small, so they will require a lot variance. They are looking at this as half a building on each lot, basically one building across two lots. The front of the house will be all brick just like neighboring units.

COMMISSIONER COMMENT:

Carmichael: felt this was covered well in previous meeting and in favor.

Van Buren: variances being requested are almost the same as the other buildings in area, in favor.

Pill: was talked about in depth and plans updated, in favor.

Thomas: in favor, good transition from living into downtown area.

Sharp: in support.

Bartel: in support.

Richard: asked about the material for the driveway. Reply: permeable pavers will be used.

FINDINGS OF FACT A & B

- (1) YES--7; NO--0
- (2) YES--7; NO--0
- (3) YES--7; NO--0

MOTION A

Motion to recommend to the Village Board of Trustees to approve to a Zoning Code Variance request for relief from the minimum square feet per building in the R-4 General Residence District.

Motion by: Carmichael

Second by: Bartel

VOTING A

Van Buren--Yes
Sharp--Yes
Thomas--Yes
Bartel--Yes
Carmichael--Yes
Pill--Yes
Richard--Yes
Motion passed.

MOTION B

Motion to recommend to the Village Board of Trustees to approve to a Zoning Code Variance request for relief from the maximum allowable density in the R-4 General Residence District.

Motion by: Thomas

Second by: Pill

VOTING B

Van Buren--Yes
Sharp--Yes
Thomas--Yes
Bartel--Yes
Carmichael--Yes
Pill--Yes
Richard--Yes
Motion passed.

MOTION C

Motion to recommend to the Village Board of Trustees to approve to a Site and Landscaping Plan approval to build a new single-family semi-detached dwelling.

Motion by: Van Buren

Second by: Carmichael

VOTING C

Van Buren--Yes
Sharp--Yes
Thomas--Yes
Bartel--Yes
Carmichael--Yes
Pill--Yes
Richard--Yes
Motion passed.

MOTION D

Motion to recommend to the Village Board of Trustees to approve to a Preliminary Plat of Subdivision request to split one lot into two buildable lots in the R-4 General Residence District.

Motion by: Pill

Second by: Thomas

VOTING D

Van Buren--Yes
Sharp--Yes
Thomas--Yes
Bartel--Yes
Carmichael--Yes
Pill--Yes
Richard--Yes
Motion passed.



**VILLAGE OF WESTMONT
PLANNING AND ZONING COMMISSION
AGENDA ITEM**

MEETING DATE: May 11, 2016

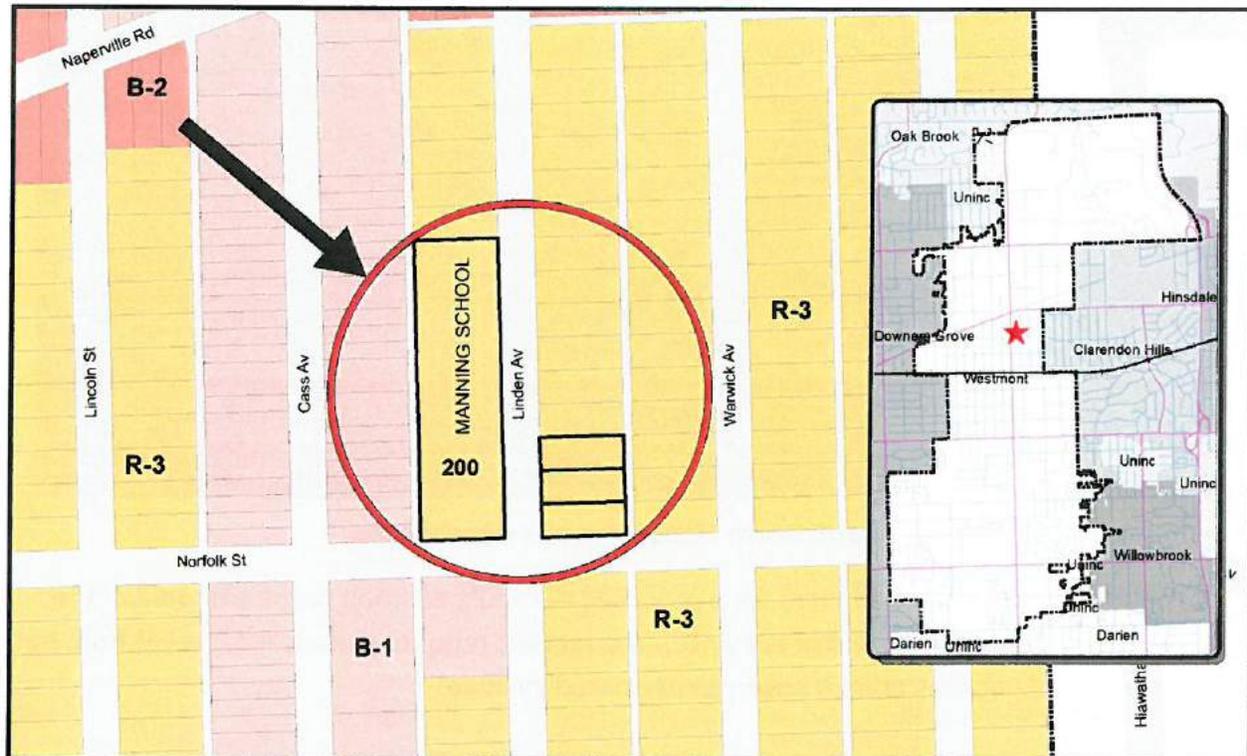
P/Z 16-010

TITLE: Cashman Stahler Group, Inc. regarding improvements at J.T. Manning Elementary School, located at 200 North Linden Avenue, Westmont, IL 60559 for the following:

- (A) Zoning Code Variance request for relief from the maximum allowable Floor Area Ratio (FAR) in the R-3 Single Family Detached Residence District.
- (B) Zoning Code Variance request for relief from the maximum allowable Lot Coverage in the R-3 Single Family Detached Residence District.
- (C) Site and landscaping approval to construct a building addition.

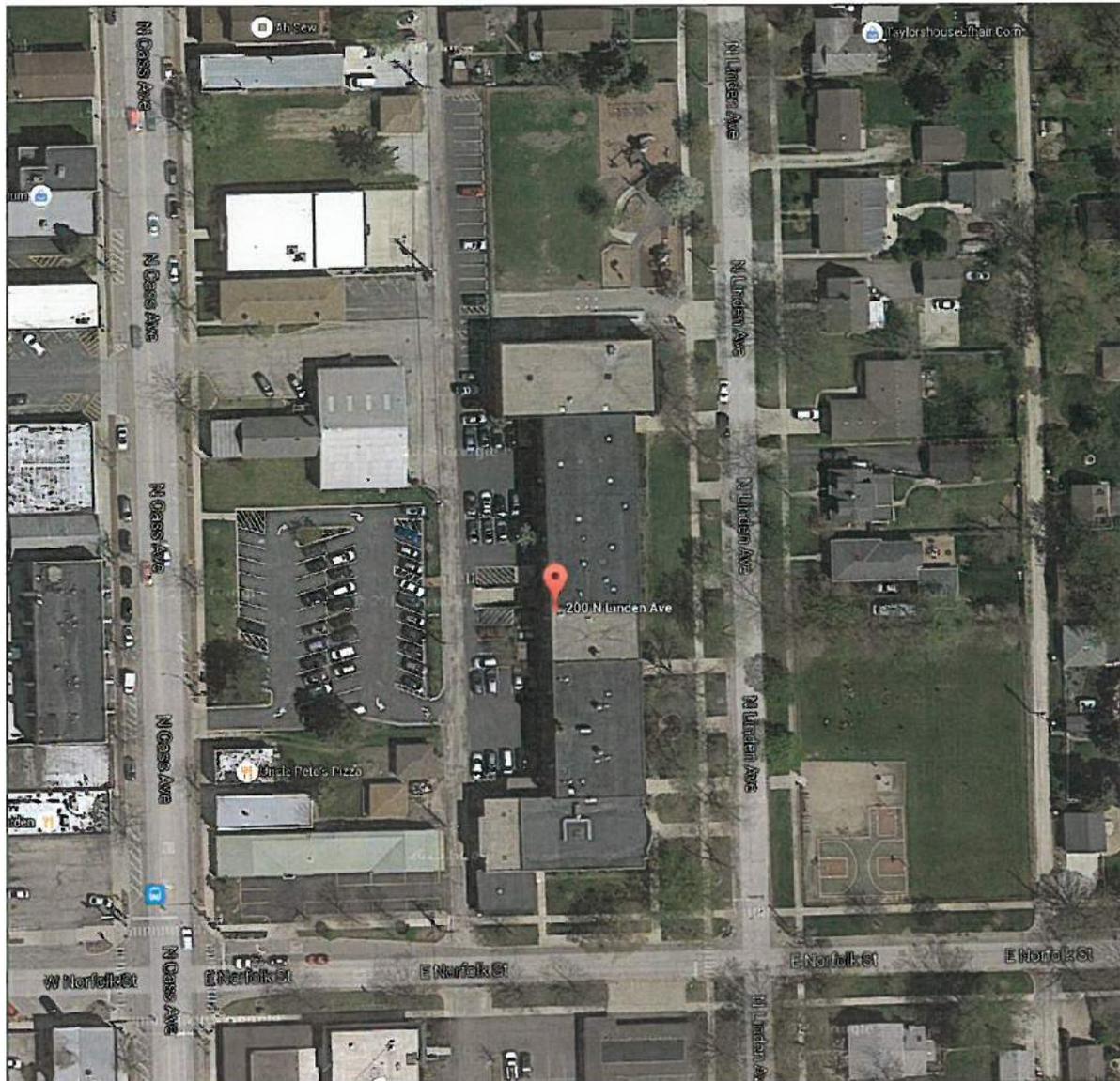
BACKGROUND OF ITEM

The Manning School campus is located on the north east corner of Norfolk Street and Linden Avenue, with an adjacent playground just to the east. The site is approximately 2.48 acres and comprises approximately 13 of the original lots from Block 3 in the Arthur T. McIntosh and Company's first addition to Westmont.



200 North Linden Avenue Zoning Map

The property is zoned R-3 Single Family Detached Residential District and is a permitted nonresidential use in the zoning designation. Properties to the east and north are zoned similarly and contain single-family homes. Properties to the west and immediate south are zoned B-1 Limited Business District.



200 North Linden Avenue - Aerial Map

The petitioner has submitted plans for a proposed vestibule addition to the east side of the school to serve as a secure visitor entrance. The request requires variances for relief from both the maximum floor area and lot coverage permitted by code.

As a record of the improvements the Village has additionally required Site and Landscaping approval as it applies to the addition.

ZONING ANALYSIS

The subject property is located in the R-3 Single Family Detached Residence District. The proposed construction will expand an existing entrance 277 square feet by adding a secured one-story vestibule with an additional 171 square feet of exterior improvements including a stairway and accessible ramp. The architectural character of the addition will match the brick facade of the existing school.

The expansion will increase the school’s existing non-conforming floor area ratio (FAR) and lot coverage as defined in Appendix “A”, Section 6.04 - Bulk and development standards in residence districts. A summary of requirements and requested variances are discussed below.



200 North Linden Avenue

Density summary for variance requests

The existing building on the site has an FAR of .61 based on 66,149 square feet, which exceeds the .5 allowed by code. The 277 square foot expansion increases the FAR to .62 and 66,426 square feet.

Maximum lot coverage permitted for the district is 35 percent. Currently the entire campus contains a total of 58,453 square feet of impervious surface, or 54 percent of lot coverage. The additional impervious adds 448 square feet, with resultant totals of 58,901 square feet and 55 percent in lot coverage.

Sec. 6.04. - Bulk and development standards in residence districts.

<i>R-3 District</i>	<i>Maximum floor area ratio</i>	<i>Maximum Lot Coverage</i>
Single-family detached dwelling	.50	35%
Variance Requested:	.62 (increase of 24% from permitted or 2% of existing)	55% (increase of 55.8% from permitted or 0.8% of existing)



Addition proposed to right entrance

REVIEW COMMENTS

Engineering Synopsis - The Village Engineer had determined prior to submission that the scope of the project would not trigger any engineering requirements from the Village. At staff request, the applicant submitted the project for review by the Kane-DuPage Soil and Water Conservation District which has determined that there would be no substantial effect. The Land Use Opinion has been included as an attachment.

While there is no substantial engineering effect, the Village is working with District 201 on a joint future stormwater project that will be located on the corner lot across Linden Avenue from the Manning School entrance. Stormwater detention will be located on this lot and the Village has completed Phase 1 Engineering. This would take into account any additional hard surface that is added from this project.

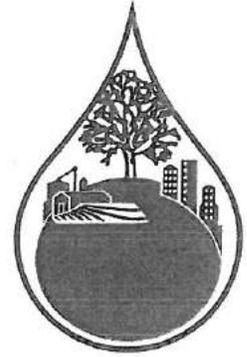
SUMMARY

The applicant requests variances for relief from both the maximum FAR and lot coverage as required in the R-3 Single Family Detached Residential District.

DOCUMENTS ATTACHED

1. Public notice as published in the April 27, 2016 edition of the Westmont Progress.
2. Kane-Dupage Land Use Opinion dated April 22, 2016.
3. Application for variance, with associated application materials, dated April 01, 2016.
 - a. Boundary and Topographic Survey, prepared by Gentile and Associates, Inc., dated November 05, 2015.
 - b. Proposed Site Plan and Elevations, prepared by Cashman Stahler Group, dated April 1, 2016.
 - c. Landscape Plan, prepared by Cashman Stahler Group, dated April 15, 2016.

Kane - DuPage Soil & Water Conservation District



April 22, 2016

Village of Westmont
Jill Zielger and Kim Nicoll
31 West Quincy St.
Westmont, IL 60559

We have assigned number 16-034 to a Land Use Opinion Application from:

Eriksson Engineering Associates
601 W. Randolph St. Suite 500
Chicago IL 60661

The site location is:

Downers Grove Township
Section 10, Township 38N, Range 11E

The application was sent to us in compliance with Section 22.02a of the Illinois Soil and Water Conservations Districts Act.

_____ Our review and comments will be sent to you on or before _____

According to the information received, this proposed land use change will not have a substantial effect on natural resources. Therefore, no further action will be taken by the Soil and Water Conservation District Board.

A processing fee of \$65.00 has been retained.

Sincerely,

Jennifer Shroder
Office Assistant

2315 Dean Street, Suite 100

St. Charles, Illinois 60175 (630) 584-7961x3
www.kanedupageswcd.org

Fax: (630) 584-9534



Community Unit School District 201

Serving families of Westmont, Clarendon Hills and Downers Grove since 1972

April 1, 2016

Ms. Jill Ziegler
Community Development Director
Village of Westmont
31 West Quincy Street
Westmont, IL 60559

Dear Ms. Ziegler,

The Board of Education of Community Unit School District 201 (the "School District") is the owner of the J.T. Manning Elementary School comprising 2.48 acres and located at 200 North Linden Avenue in Westmont. The school has been located at this site since 1927 and serves families in Westmont, Clarendon Hills and Downers Grove.

In order to provide a more secure building for its students and staff, the School District is proposing to build a small 277 gross square foot one-story addition on the east side of the existing building. The addition will serve as the new secure visitor entrance to the building. The project also includes related interior renovations, construction of a new ADA compliant ramp, steps and new walk from the sidewalk to the addition.

Though the proposed addition is very small (a net 448 square feet increase of impervious surface), it does not comply with two zoning requirements - maximum floor area ratio (FAR) and maximum lot coverage. Refer to the attached zoning analysis and findings of fact for more information.

The School District submits this application for review and consideration by the Village in the spirit of intergovernmental cooperation. The School District looks forward to working with the Village in a collaborative manner in order to implement this project for the benefit of Community Unit School District 201, the Village, and the surrounding communities served by the School District. By submitting this application, however, the School District does not waive any rights it may have under the law in the unlikely event that the Village zoning process or result unreasonably restricts the School District's ability to pursue the project and meet the essential program needs for its students.

Over the years, the School District has been a cooperative and successful governmental partner of the Village. The School District looks forward to continuing that partnership with the development of this project. The School District will be happy to answer any questions. Thank you for your consideration of this matter.

Sincerely,

A handwritten signature in black ink, appearing to read "Kevin Carey".

Mr. Kevin Carey
Superintendent

Community Unit School District 201

Administrative Offices
Early Childhood Center
133 South Grant Street
Westmont, Illinois 60559
Phone: 630.468.8000
Fax: 630.969.9022

Manning
Elementary School
200 North Linden Avenue
Westmont, Illinois 60559
Phone: 630.468.8050
Fax: 630.969.2492

Miller
Elementary School
125 West Traube Avenue
Westmont, Illinois 60559
Phone: 630.468.8300
Fax: 630.969.5401

Westmont
Junior High School
944 North Oakwood Drive
Westmont, Illinois 60559
Phone: 630.468.8200
Fax: 630.654.2203

Westmont
High School
909 North Oakwood Drive
Westmont, Illinois 60559
Phone: 630.468.8100
Fax: 630.654.2758



VILLAGE OF WESTMONT
COMMUNITY DEVELOPMENT DEPARTMENT
630-981-6267

<i>Office Use Only</i>	
Applicant #:	_____
Submission Date:	_____
Title:	_____

APPLICATION FOR:

- | | |
|--|--|
| <input type="checkbox"/> Annexation/Pre-Annexation Hearing | <input type="checkbox"/> Appeal from Decision of Zoning Official |
| <input type="checkbox"/> Map Amendment | <input type="checkbox"/> Planned Development |
| <input type="checkbox"/> Right-of-Way Dedication | <input type="checkbox"/> Site/Landscaping Plan |
| <input type="checkbox"/> Special-Use Permit 09-10-100-017 | <input type="checkbox"/> Subdivision/Consolidation/Lot Split (Preliminary) |
| <input type="checkbox"/> Text Amendment 09-10-101-017 | <input checked="" type="checkbox"/> Zoning Variation /Land Development Code Variance |
| DESCRIPTION OF SITE: 09-10-101-018 | |
| | 09-10-101-019 |

Common Description (Street Address): J.T. Manning Elementary School, 200 N. Linden Avenue

PIN Number: _____ Current Zoning and Land Use: R-3 District, Single-Family Detached Residence

Existing Structures & Signs: Existing elementary school.

Significant natural amenities (slope, vegetation, water bodies, rock outcroppings, floodplain, and other development restrictions): None.

PETITIONER INFORMATION:

Mr. Stephen J. Cashman, AIA
Cashman Stahler Group, Inc.

Petitioner (and corporation if applicable): _____

Street Address: 1910 S. Highland Avenue, Suite 310

City, State & Zip Code: Lombard, IL 60148

Daytime Telephone Number: (630) 656-1104

Email Address: scashman@cashmanstahler.com

Relationship of Petitioner to Property: School district architect.

PROPERTY OWNER INFORMATION (IF DIFFERENT THAN PETITIONER):

Mr. Kevin Carey

Property owner (s) (and corporation if applicable) (list all beneficiaries of Trust): Superintendent

Community Unit School District 201

Street Address: 133 S. Grant Street

City, State & Zip Code: Westmont, IL 60559

Daytime Telephone Number: (630) 468-8006

Email Address: kcarey@cusd201.org

PROJECT STAFF (If applicable):

Developer: _____

Telephone Number: _____ Email: _____

Attorney: _____

Telephone Number: _____ Email: _____

Engineer: _____

Telephone Number: _____ Email: _____

Architect: Cashman Stahler Group, Inc.

Telephone Number: (630) 656-1104 Email: scashman@cashmanstahler.com

Landscape Architect: _____

Telephone Number: _____ Email: _____

Each Applicant is solely responsible for compliance with the provisions of the Village of Westmont Zoning Ordinance, Land Development Ordinance, and other ordinances, as well as the provisions, laws, and regulations of any other entity having jurisdiction over any facet of matters coming before the Planning and Zoning Commission and Village Board. Should this be an application for a parking variance in the B-1 Limited Business District, the applicant acknowledges that Ordinance No. 10-67 requires the payment of a cash-in lieu fee for waived parking spaces.

The undersigned request(s) approval of this petition and further certify(ies) on oath that the information contained herein and in all documents submitted in support hereof, is true and correct to the best of my/our knowledge and belief. By signing below, the applicant and/or property owner grant express permission to Village of Westmont staff and officials to inspect the premises as necessary in relation to this application.

By signing below, the applicant and/or property owner acknowledges that the *submission fees are non-refundable*.

PETITIONER SIGNATURE:

Type or print name: Stephen J. Cashman

Signature: *Stephen J. Cashman*

SUBSCRIBED AND SWORN TO BEFORE ME
THIS 29 DAY OF March, 2016

Rima D. Black
Notary Public



OWNER SIGNATURE:

Type or print name: Kevin Carey

Signature: *Kevin Carey*

SUBSCRIBED AND SWORN TO BEFORE ME
THIS 29 DAY OF March, 2016

Rima D. Black
Notary Public





Cashman Stahler Group

April 1, 2016

Ms. Jill Ziegler
Community Development Director
Village of Westmont
31 West Quincy Street
Westmont, IL 60559

Re: Zoning Variance Application J.T. Manning Elementary School Findings of Fact & Zoning Analysis

J.T. Manning Elementary School
200 N. Linden Avenue
Westmont, IL

Findings of Fact

- I. **Standard:** The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the district in which it is located.
 - A. **School District Response:** This standard does not apply to this elementary school property because the School District does not seek financial returns on its property ownership.

- II. **Standard:** The plight of the owner is due to unique circumstances.
 - A. **School District Response:** The public elementary school property is inherently unique in this zoning district. The plight of the School District is due to these unique circumstances.
 1. J.T. Manning Elementary School was first constructed in 1927 with additions in 1946, 1955 and 1965. It is existing 66,149 square foot three-story non-conforming building regarding these two zoning requirements:
 - a. Maximum floor area ratio (FAR)
 - b. Maximum lot coverage.
 2. The proposed 277 square foot secure entrance addition will have a very small impact on both existing non-conformities and is required to improve the safety and security of students and staff:
 - a. FAR: Increase of 1.64%
 - b. Max. Lot Coverage: Increase of 0.077%

- III. **Standard:** The variation, if granted, will not alter the essential character of the locality.
 - A. **School District Response:** The essential character of the locality is a neighborhood elementary school surrounded by single family residences. The character of the neighborhood will be maintained and unaffected by the variation.

Zoning Analysis

- IV. **Zoning District (Sec. 5.01):**
 - A. R-3 District, Single-Family Detached Residence (2014 Zoning Map)
 1. To North & East: R-3
 2. To South: B-1 (Limited Business)
 3. To West: B1



Cashman Stahler Group

4. Note: All schools are in R-3 zoning districts.

V. Existing Lot Information:

- A. **Legal Description:** Lots 10 thru 18 in Block 4 and Lots 21 thru 23 in Block 3 in Arthur T. McIntosh and Company's First Addition to Westmont.
- B. **Lot Area:**
 1. School Lots (Lots 10-18): 81,000 square feet or 1.86 acres
 - a. 150.00' x 540.00'
 - b. Impervious Area: 51,941 SF or 0.64 (64%)
 - (1) Building footprint: 26,121 SF.
 - (2) Pavement: 25,820 SF.
 - (3) Grass Area: 29,059 SF.
 2. Playground Lots (21-23): 27,000 square feet or 0.62 acres
 - a. 150.00' x 180.00'
 - b. Impervious Area: 2,965 SF or 0.11 (11%)
 - c. Grass or Gravel Area: 24,035 SF.
 - (1) Pavement: 2,965 SF.
 3. Total Property: 108,000 square feet or 2.48 acres.
 - a. Impervious Area: 54,906 SF or 0.51 (51%)
 - b. Grass or Gravel Area: 53,094 SF.

VI. Existing Building Information:

- A. **Existing Gross Building Area:** 66,149 gross square feet
 1. Lower Level: 19,755 GSF
 2. First Floor: 26,121 GSF
 3. Second Floor: 20,273 GSF
- B. **Existing Building Height:** ~33'-0" above grade
 1. Lower Level:
 - a. ~ 7'-0" below grade (varies)
 2. First Floor:
 - a. ~ 3'-8 1/2" above grade (varies)
 - b. 11'-0" above first floor (varies)
 3. Second Floor: 12'-11" above first floor

VII. Proposed Project Data:

- A. Gross Area of Addition: 277 GSF (11'-8" x 23'-4")
- B. Height of the Addition: 17'-0" above grade, one-story
- C. Existing impervious surface steps and walk to be demolished: 388 square feet.
- D. Proposed impervious surface: 836 square feet.
- E. Change of impervious surface: 448 square feet.

VIII. Permitted Uses and Special Uses in Residence Districts (Sec. 6.02):

- A. Nonresidential Uses:
 1. (9) Schools, elementary, junior high, high, junior college or college, nonboarding:
 - a. **Permitted Use**
 - b. Special Conditions: None



Cashman Stahler Group

- IX. **Bulk and Development Standards in Residence Districts (Sec. 6.04):**
- A. **Minimum Lot Area:**
 - 1. Nonresidential uses: 20,000 square feet
 - a. Actual: 81,000 square feet (complies)
 - B. **Minimum Lot Width:**
 - 1. Nonresidential uses: 100 feet
 - a. Actual: 150 feet (complies)
 - C. **Maximum Floor Area Ratio:**
 - 1. Non residential uses: 0.50 or 54,000 GSF (108,000 SF total lot area)
 - a. Existing Floor Area: 66,149 GSF
 - b. **Existing FAR: (does not comply, existing non-conformance)**
 - (1) Actual Floor Area Ratio: 0.61
 - c. **Proposed Floor Area:** 66,426 GSF.
 - d. **Proposed FAR: (does not comply, existing non-conformance)**
 - (1) Proposed Floor Area: 66,426 GSF, (277 additional SF)
 - (2) Actual: 0.62
 - (a) A change of 0.00256
 - D. **Maximum Lot Coverage:**
 - 1. Permitted: 0.35 or 37,800 SF.
 - 2. **Existing Lot Coverage: 58,453.20 SF (does not comply, existing non-conformance)**
 - a. Existing coverage: 0.54
 - b. Existing maximum coverage variance: 20,653.20 square feet.
 - 3. **Proposed Lot Coverage: 58,901.20 SF (does not comply, existing non-conformance)**
 - a. Proposed coverage: 0.54
 - b. Proposed maximum coverage variance: 21,101.20 square feet.
 - E. **Maximum Height of Buildings:**
 - 1. Nonresidential uses: 45 feet
 - 2. Existing: 33 feet (in compliance)
 - 3. Proposed: No change (in compliance)
 - F. **Minimum Yards:**
 - 1. Front and Side Yard Adjoining Street: Not applicable (in compliance)
 - a. Front Yard (Norfolk Street):
 - (1) Existing: 2.08 feet (in compliance)
 - (2) Proposed: No change (in compliance)
 - b. Side Yard (Linden Avenue):
 - (1) Existing setback at north wing: 24'-0" (in compliance)
 - (2) Proposed setback at addition: 28'-4" (in compliance)
 - 2. Interior Side Yard (North): Not applicable (in compliance)
 - a. Existing: 167'-8" (in compliance)
 - b. Proposed: No change (in compliance)
 - 3. Rear Yard: Not applicable (in compliance)
 - a. Existing: 3.68 feet (in compliance)
 - b. Proposed: No change (in compliance)



Community Unit School District 201

Serving families of Westmont, Clarendon Hills and Downers Grove since 1972

April 27, 2016

Dear Community Member,

This summer Community Unit School District 201 has building renovations planned for Manning Elementary, Miller Elementary, Westmont Junior High School and Westmont High School. The intent of the renovations is to increase the safety and security of District schools.

The proposed plan at Manning is to build a 277 square foot one-story addition, on the east side of the existing building. The addition will serve as the new secure visitor entrance to the school. The project also includes the construction of a new ADA compliant ramp, steps, and new walkway from the sidewalk to the addition.

CUSD 201 has submitted an application to the Village for a zoning variance. The Manning addition does not comply with two zoning requirements- maximum floor area ratio (FAR) and maximum lot coverage. The Village Planning and Zoning Commission will conduct a hearing to review and consider the District's Request at their May 11, 2016 meeting.

The CUSD 201 Board of Education is hosting a Special Community Outreach Meeting on **Tuesday, May 10, 2016 at 7:00 PM in the Community Room at Manning Elementary**. At this meeting the District will review the renovation plans with our community. There will also be an opportunity for questions and answers with the Board of Education.

If you need additional information, please contact my office. The CUSD 201 Board of Education hopes to see you on May 10, 2016 in the Manning Community Room at 7:00 PM.

Sincerely,

A handwritten signature in black ink that reads "Kevin M. Carey". The signature is written in a cursive style.

Kevin M. Carey
Superintendent
CUSD 201

Administrative Offices
Early Childhood Center
133 South Grant Street
Westmont, Illinois 60559
Phone: 630.468.8000
Fax: 630.969.9022

Manning
Elementary School
200 North Linden Avenue
Westmont, Illinois 60559
Phone: 630.468.8050
Fax: 630.969.2492

Miller
Elementary School
125 West Traube Avenue
Westmont, Illinois 60559
Phone: 630.468.8300
Fax: 630.969.5401

Westmont
Junior High School
944 North Oakwood Drive
Westmont, Illinois 60559
Phone: 630.468.8200
Fax: 630.654.2203

Westmont
High School
909 North Oakwood Drive
Westmont, Illinois 60559
Phone: 630.468.8100
Fax: 630.654.2758

VILLAGE OF WESTMONT PLANNING AND ZONING COMMISSION
FINDINGS OF FACT

PUBLIC HEARING OF MAY 11, 2016

P/Z 16-010 – J.T. Manning Elementary School, 200 N. Linden Avenue, Westmont

Request for variances to allow relief from the maximum allowable floor area ratio and relief from the maximum allowable lot coverage in the R-3 Single Family Detached Residence District.

***CRITERIA NO. 1:** The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the district in which it is located.*

FINDINGS OF FACT: In order to fulfill its mission of educating the public in a safe and secure environment, the Applicant desires to construct a vestibule which will serve as a secure visitor's entrance and which will enhance the safety features of the school. If these variances requests are denied, the school could not expand for safety reasons and could not yield a reasonable return.

***CRITERIA NO. 2:** The plight of the owner is due to unique circumstances.*

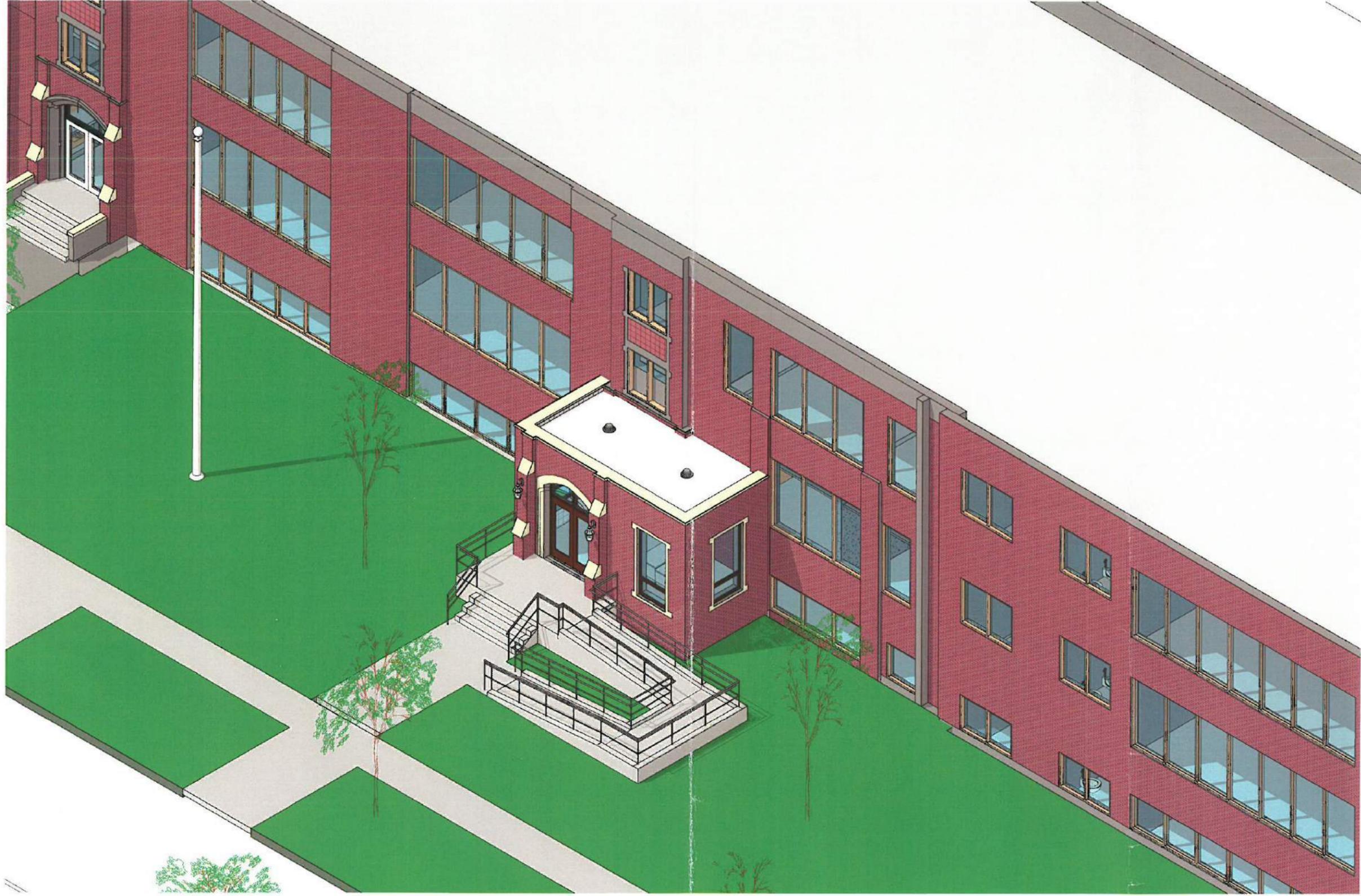
FINDINGS OF FACT: The school was originally constructed in 1927 and fully-built out in 1965 and is currently non-conforming as to floor area ratio and lot coverage. The school was conforming in this regard when expanded most recently in 1965 and did not create this non-conformity. Future expansion is impossible without these variances.

***CRITERIA NO. 3:** The variation, if granted, will not alter the essential character of the locality.*

FINDINGS OF FACT: This modest one-story expansion will increase the floor area ratio by only 1% and the lot coverage by only 1%. The architecture will match the existing architecture of the school. This proposed 448 foot expansion is consistent with the existing school and will not alter the character of the neighborhood.

 7 The Planning and Zoning Commission agrees with the above findings.

 0 The Planning and Zoning Commission does not agree with the above findings.



Date: 04/01/16
Project: CSG629
D-G100

J.T. Manning - Security Upgrades
200 N. Linden Avenue
Westmont, IL 60559

Cashman Stahl Group
1910 S. Highland Avenue, Suite 310
Lombard, Illinois 60148
Telephone: 630-889-8800
Web: www.cashmanstahl.com

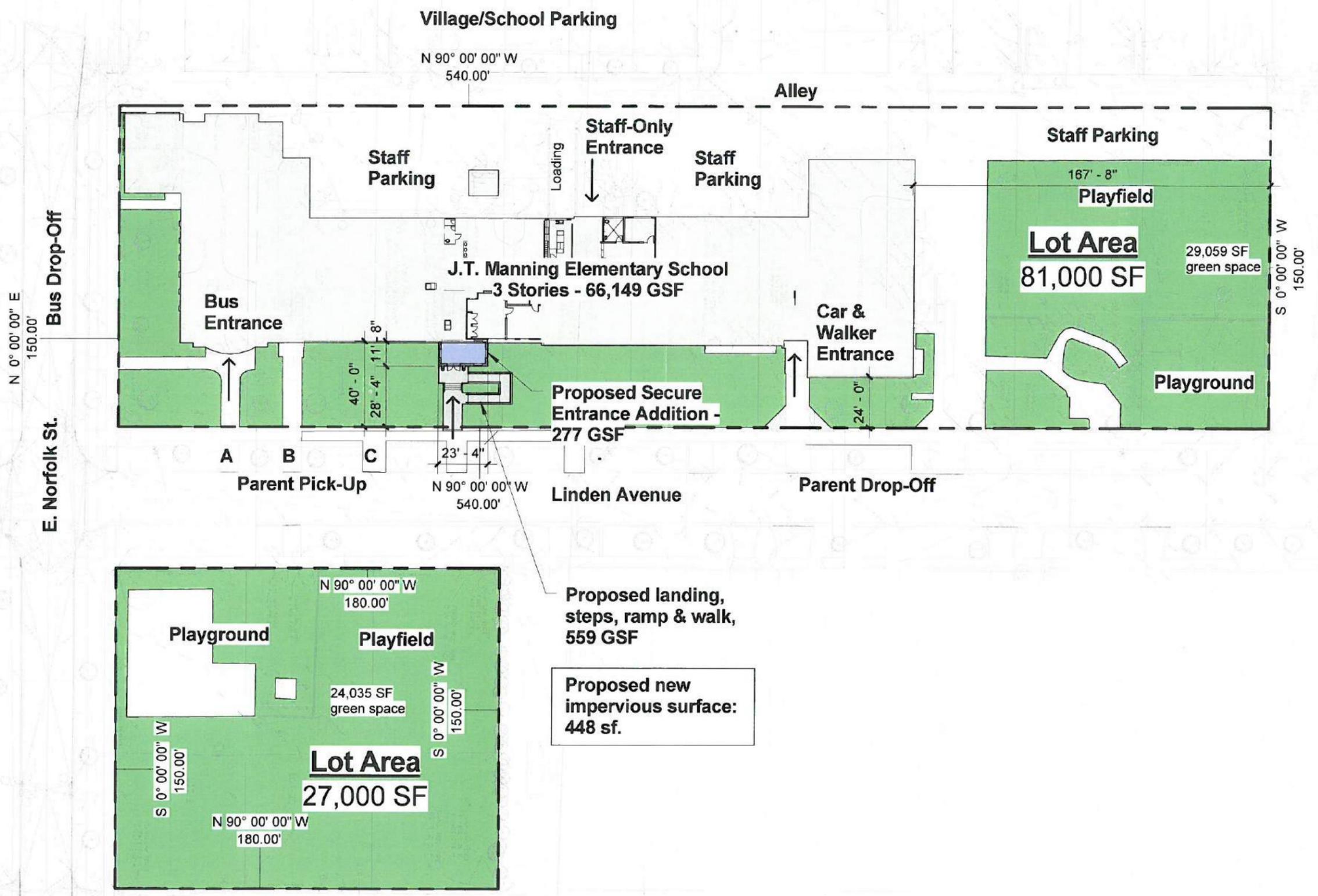


1

3D View of Proposed Addition from NE

J.T. Manning - Security Upgrades
 200 N. Linden Avenue
 Westmont, IL 60559

Cashman Stahler Group
 1910 S. Highland Avenue, Suite 310
 Lombard, Illinois 60148
 Telephone: 630-889-8800
 Web: www.cashmanstahler.com



1

Proposed Site Plan - JT Manning Elementary School

1" = 50'-0"



LOT 15

LOT 16

J.T. MANNING ELEM. SCHOOL
2 STORY BRICK
W/ ENGLISH BASEMENT

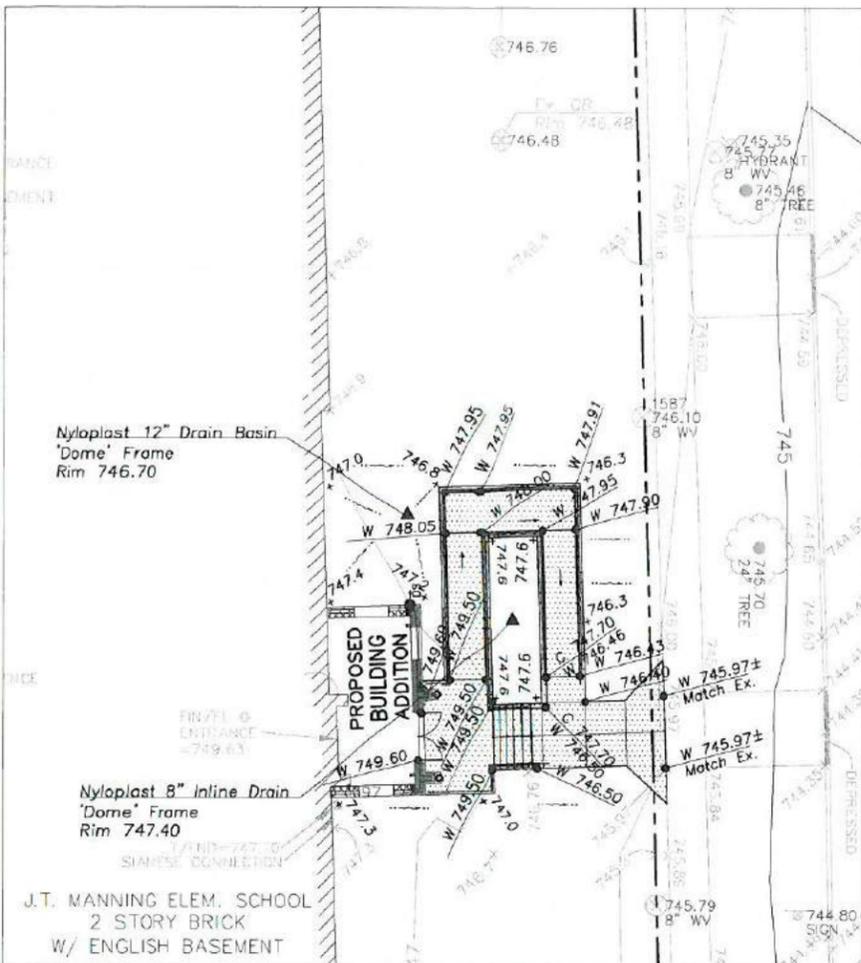
SITE DEMOLITION PLAN

DEMOLITION LEGEND

- Concrete Pavement Removal (Full Depth)
- Pavement Sawcut

PAVING & SURFACE LEGEND

- Concrete Section
- 5" Portland Cement Concrete
- 4" Aggregate Base Course, Type B, Crushed

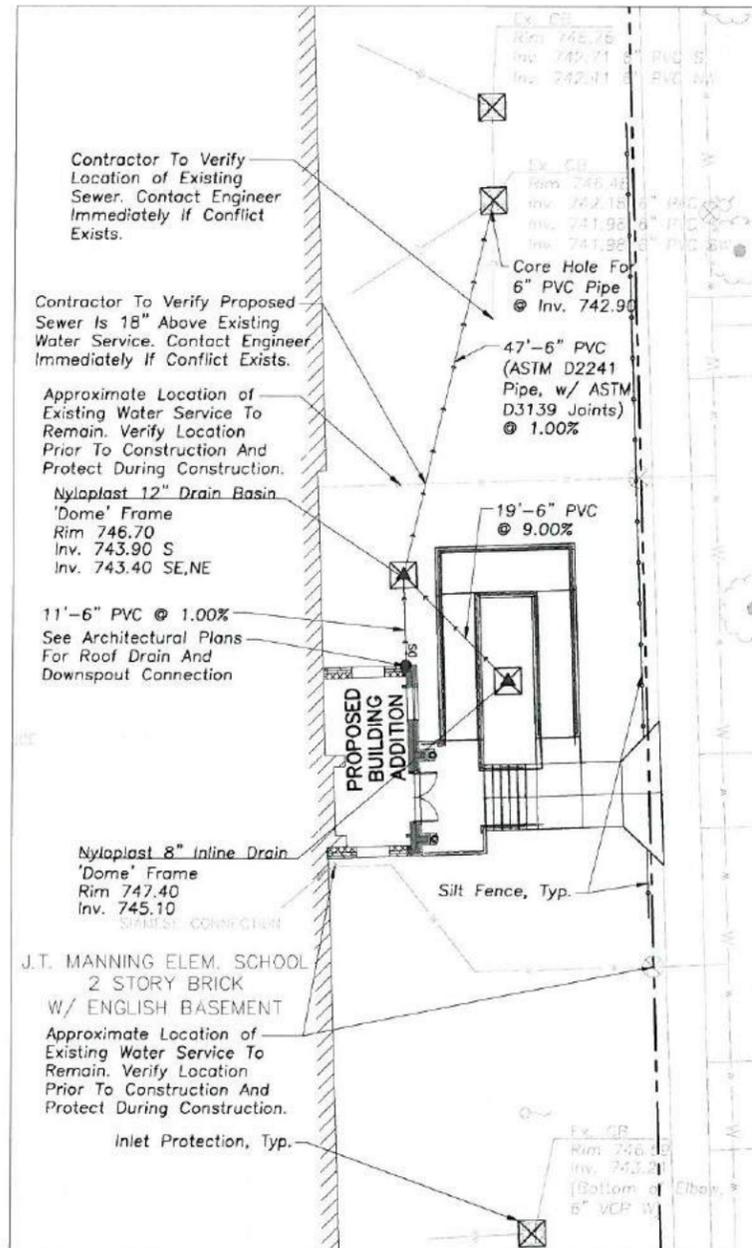


SITE GRADING AND PAVING PLAN

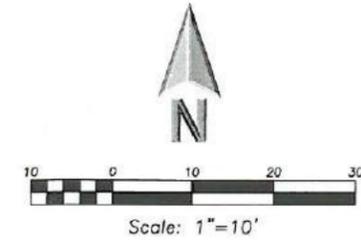
See Architectural Plans
For Retaining Wall And
Foundation Details, Typ.

J.T. MANNING ELEM. SCHOOL
2 STORY BRICK
W/ ENGLISH BASEMENT

SITE GEOMETRY PLAN



SITE UTILITY AND EROSION CONTROL PLAN



LEGEND

EXISTING	PROPOSED
	Manhole
	Catch Basin
	Area Drain
	Chen Out
	Fire Hydrant
	Valve Vault
	Buffalo Box
	Downspout
	Sign
	Storm Sewer
	Water Main
	Curb & Gutter
	Depressed Curb
	Curb Elevation
	Gutter Elevation
	Pavement Elevation
	Sidewalk Elevation
	Ground Elevation
	Swale
	Contour Line
	Deciduous Tree
	Coniferous Tree
	Bruce Line
	Tree Protection Fencing at Dig Line

PROJECT INFORMATION

Disturbed Area = 1,230 s.f.
Additional (Proposed) Impervious = 870 s.f.



145 COMMERCE DRIVE, SUITE A
GRAYLAKE, ILLINOIS 60030
PHONE: (847) 223-4804
FAX: (847) 223-4854
EMAIL: INFO@EEA-LTD.COM
PROFESSIONAL DESIGN FIRM
LICENSE NO. 184-003220
EXPIRES: 04/30/2017

J.T. MANNING
ELEMENTARY SCHOOL
ADA RAMP ADDITION
200 N Linden Ave
Westmont, Illinois

Reserved for Seal:

Expiration Date:

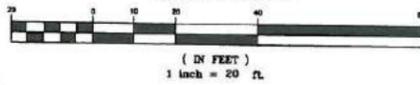
No.	Date	Description

Design By: RF Date: 04/04/2016
Approved By: CK Project No.

Sheet Title:
SITE PLAN

Sheet No:
C100

GRAPHIC SCALE



BOUNDARY AND TOPOGRAPHIC SURVEY

BY
GENTILE AND ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS

LOTS 10 THRU 18 IN BLOCK 4 AND LOTS 21 THRU 23 IN BLOCK 3 IN ARTHUR T. MCINTOSH AND COMPANY'S FIRST ADDITION TO WESTMONT, BEING A SUBDIVISION IN THE WEST 1/2 OF THE NORTHWEST 1/4 OF SECTION 10, TOWNSHIP 36 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 10, 1921 AS DOCUMENT 150101, IN DUPAGE COUNTY, ILLINOIS.

PROPERTY COMMONLY KNOWN AS:
CONTAINING: 107,999.92 SQ. FT., 2.48 AC.

550 E. ST. CHARLES PLACE
LOMBARD, ILLINOIS 60148
PHONE: (630) 616-6262
FAX: (630) 616-6264

STORM SEWER STRUCTURES

- 10) INLET
RM=746.00
4" PVC N/S INV=746.20
- 11) STORM MH
RM=747.60
6" VCP N INV=744.73
6" VCP W INV=744.85
- 12) INLET
RM=747.06
4" PVC N/S INV=745.51
- 13) INLET
RM=746.94
4" PVC N INV=745.24
6" PVC SW INV=745.24
- 14) STORM SEWER MH
RM=747.59
4" DIP N INV=743.74
4" DIP SE INV=743.84
4" DIP S INV=744.10
6" DIP SW INV=743.89
- 15) CATCH BASIN
RM=747.15
6" PVC NE INV=744.70
6" PVC SW INV=744.70
- 16) STORM MH
RM=748.02
6" PVC NE INV=744.27
6" PVC SW INV=744.29
6" PVC N INV=744.45
- 17) CATCH BASIN
RM=748.58
8" RCP NW INV=745.26
8" RCP S INV=745.46
- 18) CATCH BASIN
RM=748.17
8" PVC W INV=744.47
8" PVC SE INV=744.44
- 19) STORM MH
RM=747.75
8" NW INV=744.13
8" N INV=741.95
8" SE INV=742.19
- 20) CATCH BASIN
RM=747.42
8" PVC NW INV=742.27
8" VCP N INV=742.32
8" PVC N INV=743.17
8" VCP E INV=742.32
- 21) CATCH BASIN
RM=743.85
8" VCP E INV=741.50
8" PVC W INV=741.60
- 22) CATCH BASIN
RM=743.53
4" VCP W INV=740.98
10" VCP SE INV=740.28
- 23) CATCH BASIN
RM=743.00
8" PVC N INV=738.57
8" PVC E INV=738.47
- 24) CATCH BASIN
RM=743.69
8" PVC W INV=738.36
15" PVC S INV=737.09
15" PVC E INV=737.09
- 25) STORM MH
RM=743.20
15" PVC N INV=737.05
18" PVC S INV=736.97
10" PVC NW INV=738.00
- 26) CATCH BASIN
RM=742.92
8" VCP W INV=740.07
8" VCP S INV=739.27
- 27) STORM SEWER MH
RM=741.00
15" PVC W INV=737.44
15" PVC N INV=737.45
8" PVC E INV=738.13
- 28) CATCH BASIN
RM=740.52
15" PVC N INV=737.47
10" PVC E INV=737.52
15" PVC S INV=737.44
- 29) CATCH BASIN
RM=740.58
10" PVC W INV=737.81
- 30) CATCH BASIN
RM=740.35
10" PVC E INV=737.60
15" PVC S INV=737.54
8" DPP NW INV=738.55
- 31) CATCH BASIN
RM=740.98
10" PVC W INV=737.68
- 32) STORM MH
RM=742.31
8" DIP W INV=738.88
8" DIP E INV=738.98
- 33) CATCH BASIN
RM=741.98
8" PVC N INV=739.57
8" PVC S INV=739.57
- 34) BEEHIVE CATCH BASIN
FLOW LINE=743.23
8" PVC S INV=740.48
- 35) CATCH BASIN
RM=748.59
8" VCP W INV=743.24
BOTTOM OF ELBOW

NOTES:

EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS PLAT, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS OTHER THAN POSSIBLE EASEMENTS WHICH WERE VISIBLE AT THE TIME OF MAKING OF THIS SURVEY; BUILDING SETBACK LINES, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, ZONING OR OTHER LAND-USE REGULATIONS, AND ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.

THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES. BEFORE ANY EXCAVATION BEGINS ALL UTILITY COMPANIES SERVING THE PROPERTY SHOULD BE CONTACTED FOR VERIFICATION OF FIELD LOCATION.

BASIS OF BEARINGS:
ILLINOIS STATE PLANE COORDINATE SYSTEM EAST ZONE.

UPON INSPECTION OF FLOOD INSURANCE RATE MAP NO. 17043C0902H, COMMUNITY NUMBER 170220, EFFECTIVE DATE DECEMBER 18, 2004, ALL OF THE SUBJECT PROPERTY SHOWN HEREON LIES WITHIN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN).

BENCHMARK: DUPAGE COUNTY BENCH 0003001
STATION IS LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF ROUTE 34 (ODDEN AVENUE) AND CASS AVENUE. STATION IS 34 FEET EAST OF THE CENTERLINE OF CASS AVENUE, 72.5 FEET NORTH OF THE CENTERLINE OF ODDEN AVENUE AND 5.6 FEET WEST OF THE EDGE OF A CONCRETE SIDEWALK ALONG CASS AVENUE. MONUMENT IS A BRONZE DISK IN THE WEST SIDE OF A CONCRETE TRAFFIC SIGNAL BASE.

ELEV. = 748.26 (NAVD 88 DATUM)

SITE BENCHMARK:
TAGGED BOLT ON FIRE HYDRANT LOCATED AT NORTHWEST CORNER OF LINDEN AVENUE AND NORFOLK STREET.
ELEV. = 748.81

STATE OF ILLINOIS S.S.
COUNTY OF DUPAGE

WE, GENTILE AND ASSOCIATES, INC., HEREBY CERTIFY THAT A SURVEY HAS BEEN MADE AT AND UNDER MY DIRECTION, OF THE PROPERTY DESCRIBED ABOVE, AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY. THIS PLAT CONFORMS TO THE MINIMUM STANDARD REQUIREMENTS FOR A BOUNDARY SURVEY.

NOVEMBER 5, A.D. 2015

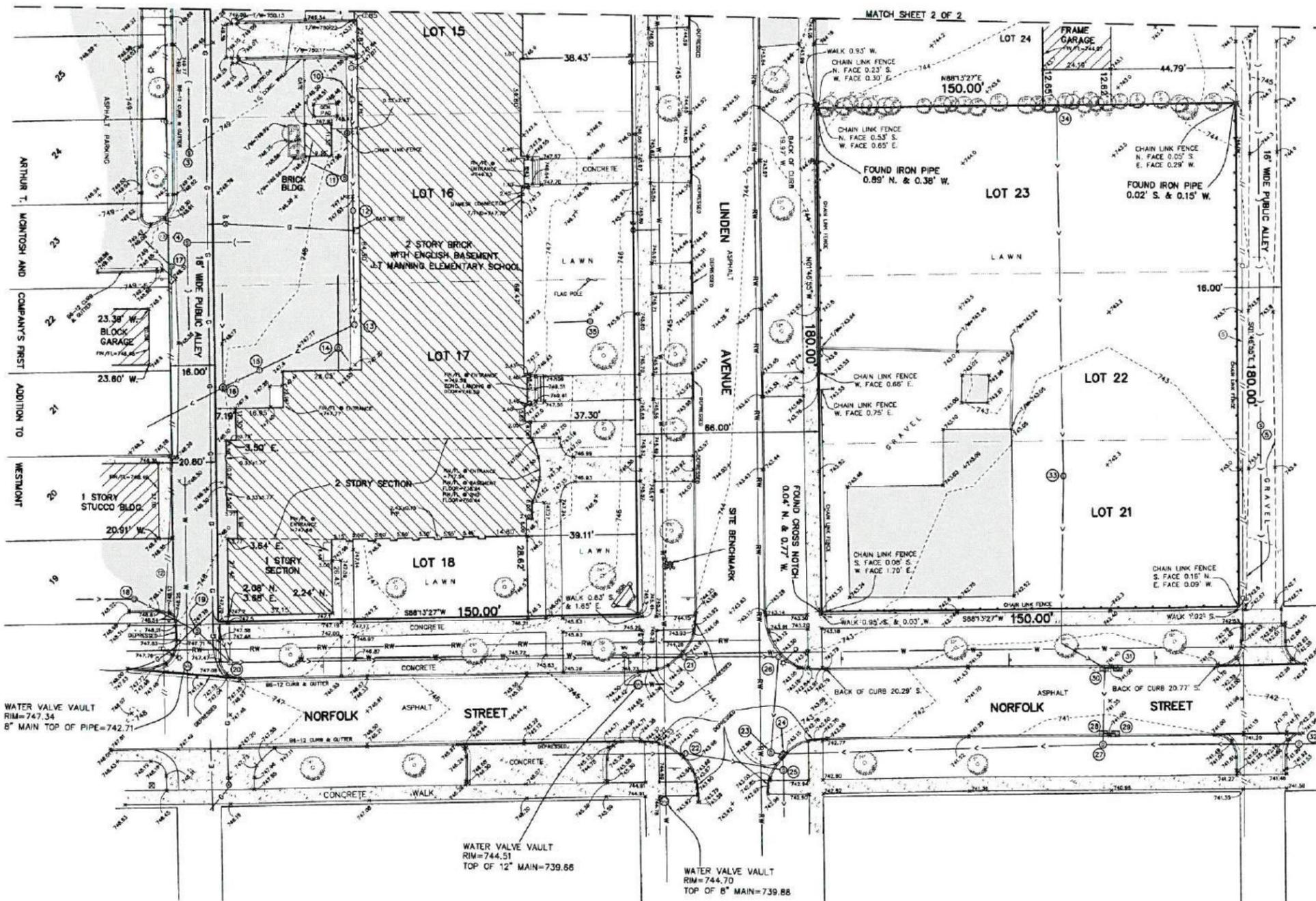
BY: _____
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 2925
MY LICENSE EXPIRES NOVEMBER 30, 2016
ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184.002870

LEGEND

- TREE WITH TRUNK DIAM. SIZE
- UTILITY PEDESTAL
- UTILITY POLE
- LIGHT STANDARD
- SIGN POST
- FLAG POLE
- FIRE HYDRANT
- WATER SERVICE SHUTOFF VALVE
- WATER VALVE VAULT
- CLOSED COVER DRAINAGE STRUCTURE
- OPEN COVER DRAINAGE STRUCTURE
- CURB INLET/CATCH BASIN
- SANITARY SEWER MANHOLE
- GAS SERVICE SHUTOFF VALVE
- CLEANOUT
- WATER SHUTOFF VALVE WITH 8" CASING
- BOLLARD
- OVERHEAD WIRES (# OF WIRES)
- STORM SEWER
- SANITARY SEWER
- GAS MAIN
- WATER MAIN
- RAW WATER LINE
- WATER SERVICE
- UNDERGROUND ELECTRIC
- GROUND ELEVATION
- PAVEMENT ELEVATION
- FINISH FLOOR ELEVATION
- TOP OF WALL
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- PAVERS

SANITARY SEWER STRUCTURES

- 3) SANITARY SEWER MH
RM=748.89
8" VCP N INV=740.49 +/-
HEAVY DEBRIS
- 4) SANITARY SEWER MH
RM=748.71
8" VCP E INV=739.71
8" VCP S INV=739.38
- 5) SANITARY SEWER MH
RM=743.54
8" PVC N INV=736.44
8" PVC S INV=736.39



BASE SCALE: 1 INCH = 20 FEET
DISTANCES ARE MARKED IN FEET AND DECIMAL PARTS THEREOF
ORDERED BY: ERIKSSON ENGINEERING ASSOCIATES, LTD
DRAWN BY: MMG
CHECKED BY: _____
SURVEYED BY: JG, LR-RG
COMPARE ALL POINTS BEFORE BUILDING BY SAME AND AT ONCE REPORT ANY DIFFERENCE. FOR BUILDING LINE AND OTHER RESTRICTIONS NOT SHOWN HEREON REFER TO YOUR ABSTRACT DEED, CONTRACT AND ZONING ORDINANCE.
ORDER NO. 15-20637 J.T. MANNING ELEMENTARY SCHOOL (WESTMONT)
SHEET 1 OF 2

PZ 16-010 Cashman Stahler Group, Inc. regarding improvements at J.T. Manning Elementary School, located at 200 North Linden Avenue, Westmont, IL 60559 for the following:

- (A) Zoning Code Variance request for relief from the maximum allowable Floor Area Ratio (FAR) in the R-3 Single Family Detached Residence District.
- (B) Zoning Code Variance request for relief from the maximum allowable Lot Coverage in the R-3 Single Family Detached Residence District.
- (C) Site and landscaping approval to construct a building addition.

PRESENTATION: Natalie Kritchley, architect for the project presented an overview of the design. They do not have a monetary hardship since they are a school but the concern is a safety hardship. They are proposing a new entranceway which will improve visibility and proposing to move the office inside, create a secure entry, visitors will be buzzed in and through a lobby guard system which checks the ID against a database and checks them in and gives visitors a pass. Addition will match the existing exterior look, there will be an accessible ramp, there will be no grading due to small size of project. Setback will be 28 feet and they will be adding additional landscaping, there will be a catch basin for water. They will also be creating a restroom in the nurse's office.

PUBLIC COMMENT: Marie Charlton, resident of Westmont and school board President, shared that they have been working very hard to make sure the schools are as safe as they can be. They have been working tirelessly to make sure entrances are safe, Manning's entrance though it has a buzzer does not force visitors to enter through the office.

STAFF COMMENT: Hennerfeind stated that the applicant has two variances requests for the lot coverage and FAR and site plan and landscaping approval was requested by staff.

COMMISSIONER COMMENT:

Carmichael: looks like an excellent plan and asked about what happens if a visitor does not have a ID.
Reply: Kevin Carey stated that someone without an ID would have to be escorted.

Van Buren: this is a very good clear presentation and he supports.

Pill: loves the collaboration between the parties involved.

Thomas: well done, well thought out, keeping children safe.

Sharp: appreciates the safety and the site plan, but commented that ramp seems very close to sidewalk, possibly add some landscaping there.

Bartel: great presentations and children safety is paramount of importance.

Richard: extremely well done, asked about doors in alley. Reply: doors are slate glass with protective coating and would then be used only by staff.

FINDINGS OF FACT

- (1) YES--7; NO--0
- (2) YES--7; NO--0
- (3) YES--7; NO--0

MOTION A

Motion to recommend to the Village Board of Trustees to approve to a Zoning Code Variance request for relief from the maximum allowable Floor Area Ratio (FAR) in the R-3 Single Family Detached Residence District.

Motion by: Sharp

Second by: Pill

VOTING A

Van Buren--Yes

Sharp--Yes

Thomas--Yes

Bartel--Yes

Carmichael--Yes

Pill--Yes

Richard--Yes

Motion passed.

MOTION B

Motion to recommend to the Village Board of Trustees to approve to a Zoning Code Variance request for relief from the maximum allowable Lot Coverage in the R-3 Single Family Detached Residence District.

Motion by: Bartel

Second by: Van Buren

VOTING B

Van Buren--Yes

Sharp--Yes

Thomas--Yes

Bartel--Yes

Carmichael--Yes

Pill--Yes

Richard--Yes

Motion passed.

MOTION C

Motion to recommend to the Village Board of Trustees to approve to a Site and landscaping approval to construct a building addition.

Motion by: Pill

Second by: Thomas

VOTING C

Van Buren--Yes

Sharp--Yes

Thomas--Yes

Bartel--Yes

Carmichael--Yes

Pill--Yes

Richard--Yes

Motion passed.

ENGINEERING AGREEMENT
For
PROFESSIONAL ENGINEERING SERVICES

THIS AGREEMENT is made this 2nd day of May, 2016, by and between the Village of Westmont, a municipal corporation organized and existing under and by virtue of the laws of the State of Illinois (hereinafter called VILLAGE), and ESI Consultants, Ltd., a(n) Illinois corporation specializing in consulting engineering services (hereinafter called ENGINEER).

WHEREAS, VILLAGE requires professional engineering services in conjunction with the issuance of Engineering and Stormwater Permits for proposed developments within the municipal limits of the Village of Westmont, Illinois;

WHEREAS, prior to issuance of such permits, plans and specifications for said developments (hereinafter called PROJECT) must be reviewed to ensure compliance with both Village of Westmont requirements and the DuPage County Countywide Stormwater and Flood Plain Ordinance (hereinafter called ORDINANCE), as amended from time to time; and

WHEREAS, ENGINEER is generally familiar with requirements of the Village of Westmont and the ORDINANCE and is willing to assist VILLAGE in determining if said developments are in compliance.

NOW, THEREFORE, in consideration of the premises and the mutual covenants and agreements contained in this Agreement, VILLAGE and ENGINEER agree as follows:

SECTION 1 – GENERAL DESCRIPTION OF SERVICES

1.1 ENGINEER shall serve as VILLAGE's non-exclusive professional engineering consultant in those assignments to which this Agreement applies, and shall give consultation and advice to VILLAGE during the performance of ENGINEER'S services.

1.2 All services shall be performed under the direction of a professional engineer registered in the State of Illinois and qualified in the particular field.

SECTION 2 - AUTHORIZATION OF SERVICES

2.1 Services on any assignment shall be undertaken and shall be considered authorized by the VILLAGE when requested in a manner consistent with the terms as set forth in Exhibit A to this Agreement.

2.2 Assignments may include services described hereafter as Basic Services or as Additional Services of ENGINEER.

2.3 The Village will be relying upon the professional expertise of ENGINEER regarding all services provided under this Agreement by ENGINEER, and the VILLAGE shall have no independent obligation to verify the accuracy or completeness of ENGINEER's work and services.

SECTION 3 - BASIC SERVICES OF ENGINEER

3.1 General.

3.1.1 Perform professional engineering services in connection with the PROJECT as more fully described in EXHIBIT A to this Agreement. Said services shall include normal civil, structural, mechanical, and electrical engineering services and normal architectural design services incidental thereto.

3.1.2 Advise VILLAGE as to the necessity of VILLAGE providing or obtaining services or data from others of types described in paragraph 5.3, make recommendations as to the possible sources of such services, and act as VILLAGE's representative in connection with any such services.

3.1.3 Prepare and furnish to VILLAGE a Report summarizing studies performed, including findings and recommendations for the PROJECT.

SECTION 4 – ADDITIONAL SERVICES OF ENGINEER

4.1 General. If authorized in writing by VILLAGE and agreed to in writing by ENGINEER, ENGINEER shall furnish or obtain from others Additional Services of the following types which are not considered normal or customary Basic Services. The scope of Additional Services may include:

4.1.1 Grant and Loan Assistance. Prepare applications and supporting documents for governmental grants, loans, or advances, other than as required under the scope of Exhibit A to this Agreement.

4.1.2 Financial Consultation. Consult with VILLAGE's fiscal agents and bond attorneys and provide such engineering data as required for any bond prospectus or other financing requirements.

4.1.3 Property Procurement Assistance. Determine land and easement requirements and provide consultation and assistance on property procurement as related to professional engineering services being performed.

4.1.4 Administrative Assistance. Provide Contract and PROJECT administration to the degree authorized by VILLAGE.

4.1.5 Obtaining Services of Others. Provide through subcontract the services or data set forth in paragraph 5.3.

4.1.6 Miscellaneous Studies. Investigations involving detailed consideration of operations, maintenance, and overhead expenses, and the preparation of rate schedules, earnings, and expense statements; feasibility studies; appraisals and valuations; detailed quantity surveys of material, equipment, and labor; and audits or inventories required in connection with construction performed by VILLAGE.

4.2 Contingent Additional Services.

4.2.1 If services needed to provide the information described in Paragraph 5.3 are required due to circumstances beyond the ENGINEER'S control, the ENGINEER shall notify the VILLAGE prior to commencing such services. If the VILLAGE deems that such services described in 5.3 are not required, the VILLAGE shall give prompt written notice to the ENGINEER. If the VILLAGE indicates in writing that all or part of such services are not required, the ENGINEER shall have no obligation or provide those services.

4.2.2 Providing services in connection with a public hearing, arbitration proceeding, or legal proceeding except where the ENGINEER is party thereto.

SECTION 5 - RESPONSIBILITIES OF VILLAGE

VILLAGE shall, within a reasonable time, so as not to delay the services of ENGINEER:

5.1 Provide full information as to VILLAGE's requirements for the PROJECT.

5.2 Assist ENGINEER by placing at ENGINEER'S disposal all available information pertinent to the assignment including previous reports and any other data relative thereto.

5.3 Furnish ENGINEER available data such as core borings, probings and subsurface explorations, laboratory tests, and inspection reports of samples, materials, and equipment; appropriate professional interpretations of all of the foregoing; property, boundary, easement, right-of-way, topographic, and utility surveys; zoning and deed restrictions; and other special data or consultations, all of which ENGINEER may rely upon in performing his services under this Agreement. However, this provision shall not obligate the VILLAGE to obtain such data at its own expense when not already available to the VILLAGE.

5.4 Guarantee access to and make all provisions for ENGINEER to enter upon public property and make reasonable efforts to obtain access to and make all provisions for ENGINEER to enter upon private property as required for ENGINEER to perform his services under this Agreement.

5.5 Examine all studies, reports, sketches, estimates, Bid Documents, Drawings, proposals, and other documents presented by ENGINEER and render in writing decisions, when required, pertaining thereto.

5.6 Provide such professional legal, accounting, financial, and insurance counseling services as may be required for the PROJECT.

5.7 Designate in writing a person or persons to act as VILLAGE's representative(s) with respect to the services to be performed under this Agreement. Such person(s) shall have complete authority to transmit instructions, receive information, interpret and define VILLAGE's policies and decisions with respect to materials, equipment, elements and systems to be used in the PROJECT, and other matters pertinent to the services covered by this Agreement.

5.8 Give prompt written notice to ENGINEER whenever VILLAGE observes or otherwise becomes aware of any defect in the PROJECT.

5.9 Furnish approvals and permits from all governmental authorities having jurisdiction over the PROJECT and such approvals and consents from others as may be necessary for completion of the PROJECT.

5.10 Furnish, or direct ENGINEER to provide, necessary Additional Services as stipulated in Section 4 of this Agreement or other services as required.

SECTION 6 - PERIOD OF SERVICE

6.1 This Agreement will become effective upon the first written notice by VILLAGE authorizing services hereunder.

6.2 This Agreement shall be applicable to the PROJECT and shall be completed within the time frame specified in Exhibit A to this Agreement. All assignments authorized prior to the execution of this document, even if performed in whole or in part before the execution date, shall be governed by the terms and conditions of this Agreement.

6.3 The provisions of this Agreement have been agreed to in anticipation of the orderly and continuous progress of the PROJECT through completion of the services stated in the Agreement. ENGINEER'S obligation to render services hereunder will extend for a period which may reasonably be required for the completion of said services.

SECTION 7 - PAYMENTS TO ENGINEER

7.1 Compensation. The ENGINEER shall be compensated on an hourly rate basis plus reimbursable expenses based upon the schedule of hourly rates attached as Exhibit B to this Agreement. It is understood that the VILLAGE is solely responsible to provide payment to the ENGINEER and may not rely upon lack of reimbursement from a third party as sufficient reason to delay or withhold payment due the ENGINEER.

7.2 Statements. Monthly statements, in ENGINEER'S standard format, will be submitted by the ENGINEER to the VILLAGE. Statements will be based on the ENGINEER'S estimated percent of services completed at the end of the preceding month.

7.3 Payments. Statements are payable within thirty (30) days upon receipt. Time is of the essence in payment of statements, and timely payment is a material part of the consideration of this Agreement. Costs, including reasonable attorney's fees, incurred by the ENGINEER in successfully collecting any delinquent amount through litigation, arbitration or mediation shall be reimbursed by the VILLAGE. If a portion of ENGINEER'S statement is disputed by VILLAGE, the undisputed portion shall be paid by VILLAGE by the due date. The VILLAGE shall advise the ENGINEER in writing of the basis for any disputed portion of any statement.

SECTION 8 - GENERAL CONSIDERATIONS

8.1 Insurance.

8.1.1 During the course of performance of these services, ENGINEER will maintain (in United States Dollars) the following minimum insurance coverages:

<u>Type of Coverage</u>	<u>Limits of Liability</u>
Workers' Compensation	Statutory

Employers' Liability	\$500,000 Each Accident
Commercial General Liability	
Bodily Injury and Property Damage	\$1,000,000 Combined Single Limit
Automobile Liability:	
Bodily Injury and Property Damage	\$1,000,000 Combined Single Limit
Professional Liability:	\$1,000,000 per Claim

For reviewing project submittals; for conducting hydrological or other studies; and for other projects not involving construction on the part of the VILLAGE or through an independent Contractor:

<u>Type of Coverage</u>	<u>Limits of Liability</u>
Workers' Compensation	Statutory
Employers' Liability	\$500,000 Each Accident
Commercial General Liability	
Bodily Injury and Property Damage	\$500,000 Combined Single Limit
Automobile Liability:	
Bodily Injury and Property Damage	\$500,000 Combined Single Limit
Professional Liability:	\$1,000,000 per Claim

If requested, ENGINEER will provide to VILLAGE certificates as evidence of the specified insurance.

8.1.2. VILLAGE and ENGINEER waive all rights against each other and their officers, directors, agents, or employees for property damage covered by property insurance during and after the completion of ENGINEER'S services. If the services result in a Construction Phase, a provision similar to this shall be incorporated into all Construction

Contracts entered into by VILLAGE, and all construction Contractors shall be required to provide waivers of subrogation in favor of VILLAGE and ENGINEER for property damage or liability covered by any construction Contractor's policy of insurance.

8.2 Professional Responsibility.

8.2.1. ENGINEER will exercise reasonable skill, care, and diligence in the performance of ENGINEER'S services and will carry out its responsibilities in accordance with customarily accepted professional engineering practices. If the ENGINEER fails to meet the foregoing standard, ENGINEER will diligently and immediately perform at its own cost, and without reimbursement from VILLAGE, the professional engineering services necessary to correct errors and omissions which are caused by ENGINEER'S failure to comply with above standard, and which are reported to ENGINEER within one year from the completion of ENGINEER'S services for the PROJECT. Except as otherwise provided herein, the obligations and representations contained in this Article are Engineer's sole obligation and VILLAGE's exclusive remedy with respect to the quality and provision of services. VILLAGE's failure to allow Engineer to perform such remedial services as Engineer may deem appropriate shall relieve Engineer of its obligation relative to such improper operation or maintenance. However, in the event ENGINEER fails or refuses to correct its errors and omissions as stated above and the VILLAGE is required to correct such errors and omissions in-house or through the use of another engineer, ENGINEER shall be responsible to the VILLAGE for all reasonable costs and expenses incurred by the VILLAGE in making such corrections.

8.2.2. In addition, subject to the limitation stated in Section 8.2.4 below, ENGINEER will be responsible to VILLAGE for damages caused by its negligent and/or willful conduct during its activities at the PROJECT Site.

8.2.3. In no event will ENGINEER be liable for any special, indirect, or consequential damages including, without limitation, damages or losses in the nature of increased PROJECT costs, loss of revenue or profit, lost production, claims by customers of VILLAGE, or governmental fines or penalties, except in instances of gross negligence and/or willful and wanton conduct.

8.2.4. The ENGINEER'S aggregate liability for all damages connected with its services for the PROJECT not excluded by the preceding subparagraph will not exceed the greater of the Professional Liability Insurance limit stated in Paragraph 8.1.1 or the compensation paid under this Agreement.

8.2.5. The obligations and remedies stated in this Paragraph 8.2, Professional Responsibility, and Paragraph 8.6, Termination, are the sole and exclusive obligations of ENGINEER and remedies of VILLAGE, regardless of the cause of action pled including, without limitation, negligence of every character.

8.3 Estimates and Projections. Estimates and projections prepared by ENGINEER relating to construction costs and schedules, operation and maintenance costs, equipment characteristics and performance, and operating results are based on ENGINEER'S experience, qualifications, and judgment as a design professional. Since ENGINEER has no control over weather, cost and availability of labor, material and equipment, labor productivity, construction Contractors' procedures and methods, unavoidable delays, construction Contractors' methods of determining prices, economic conditions, competitive bidding or market conditions, and other factors affecting such estimates or projections, ENGINEER does not guarantee that actual rates, costs, performance, schedules, and related items, will not vary from estimates and projections prepared by ENGINEER.

8.4 Changes. VILLAGE shall have the right to make changes within the general scope of ENGINEER'S services, with an appropriate change in compensation and schedule, upon execution of a mutually acceptable amendment or change order signed by an authorized representative of the VILLAGE and the President or any Vice President of the ENGINEER.

8.5 Suspension of Services. Should VILLAGE fail to fulfill its responsibilities as provided under Section 5 to the extent that ENGINEER is unduly hindered in ENGINEER'S services or if VILLAGE fails to make any payment to ENGINEER on account of ENGINEER'S services and expenses within 90 days after receipt of ENGINEER'S bill therefor, ENGINEER may, after giving fourteen (14) days' written notice to VILLAGE, suspend services under this Agreement until VILLAGE has satisfied VILLAGE's obligations under this Agreement.

8.6 Termination.

8.6.1. Services may be terminated by the VILLAGE or ENGINEER by fourteen (14) days' written notice in the event of substantial failure to perform in accordance with the Terms hereof by the other party through no fault of the terminating party. Failure on the part of the VILLAGE to make payments to ENGINEER when due shall be considered substantial nonperformance and cause for termination. If so terminated, VILLAGE shall pay ENGINEER all amounts due ENGINEER for all services properly rendered and expenses incurred to the date of receipt of notice of termination.

8.6.2. In the event of premature termination of the PROJECT by the VILLAGE and through no fault of the ENGINEER, the ENGINEER shall be entitled to: 1) recover all reasonable costs and expenses incurred to date of termination plus all reasonable costs incurred to assemble and close PROJECT files and documents; 2) termination penalties/expenses related to third parties retained by ENGINEER in regard to his obligations under this contract.

8.6.3 In the event of premature termination of the PROJECT by ENGINEER through no fault of the VILLAGE, the VILLAGE shall be entitled to recover all reasonable costs and expenses incurred to complete ENGINEER's services for the PROJECT, whether performed in-house by the VILLAGE or performed by another engineer.

8.7 (Note: Subparagraph intentionally deleted.)

8.8 Disputes. In the event that a dispute should arise relating to the performance of the services to be provided and should that dispute result in litigation, it is agreed that the prevailing party shall be entitled to recover all reasonable costs of litigation, including staff time, court costs, attorneys' fees, and other related expenses.

8.9 Rights and Benefits. ENGINEER'S services will be performed solely for the benefit of the VILLAGE and not for the benefit of any other persons or entities.

8.10 Dispute Resolution.

8.10.1 Scope of Paragraph. The procedures of this Paragraph shall apply to any and all disputes between VILLAGE and ENGINEER which arise from, or in any way are related to, this Agreement, including, but not limited to the interpretation of this Agreement, the enforcement of its terms, any acts, errors, or omissions of VILLAGE or ENGINEER in the performance of this Agreement, and disputes concerning payment.

8.10.2 Exhaustion of Remedies Required. No action may be filed unless the parties first negotiate and, if necessary, mediate their disputes as set forth in this Paragraph. If timely Notice is given under Paragraph 8.10.3, but an action is initiated prior to exhaustion of these procedures, such action shall be stayed, upon application by either party to a court of proper jurisdiction, until the procedures in Paragraphs 8.10.3 and 8.10.4 have been complied with, unless the VILLAGE reasonably determines that an emergency to public safety exists requiring immediate action and/or immediate court intervention.

8.10.3 Notice of Dispute.

8.10.3.1 For disputes arising prior to the making of final payment promptly after the occurrence of any incident, action, or failure to act upon which a claim is based, the party seeking relief shall serve the other party with a written Notice;

8.10.3.2 For disputes arising after the making of final payment, VILLAGE shall give ENGINEER written Notice at the address listed in Paragraph 8.18 within ninety (90) days after occurrence of any incident, accident, or first observance of defect or damage. In both instances, the Notice shall specify the nature and amount of relief sought, the reason relief should be granted, and the appropriate portions of this Agreement that authorize the relief requested.

8.10.4 Negotiation. Within seven days of receipt of the Notice, the PROJECT Managers for the VILLAGE and ENGINEER shall confer in an effort to resolve the dispute. If the

dispute cannot be resolved at that level, then, upon written request of either side, the matter shall be referred to the President of the ENGINEER and the Village Manager of VILLAGE. These officers shall meet at the individual Project Site or such other location as is agreed upon within thirty (30) days of the written request to resolve the dispute.

8.10.5 Mediation. If the VILLAGE's and ENGINEER'S said officers are unable to resolve the dispute, then either side may request that the matter be submitted to mediation before a mediator mutually agreed upon. If the parties cannot agree on a mediator, then the American Arbitration Association shall appoint one upon request. Any administrative or mediator's fees shall be split equally between the parties.

8.10.6 Waiver Upon Final Payment. The making of final payment by VILLAGE and the acceptance of same by ENGINEER and ENGINEER'S subconsultants shall constitute a waiver of existing claims by the VILLAGE and such payee except those previously made in writing and identified as unsettled by VILLAGE at the time of payment, or by the payee at the time of such payee's final invoice. Except for those claims waived under Paragraph 8.1.3, final payment shall not constitute a waiver of claims by the VILLAGE relating to liens unsettled, or subsequent discovery of services not in compliance with this Agreement. The waivers contained in Paragraph 8.1.3 shall continue to apply after final payment is made.

8.10.7 Waiver Due to Untimely Notice. Claims arising after the making of final payment shall be barred, and no suit or demand may be filed if Notice as stated in Paragraph 8.10.3.2 is not given. Nothing in this Paragraph shall be construed as directly or indirectly limiting the time to institute suit, but rather to give the responding party timely notice and prompt opportunity to investigate the allegations of the dispute.

8.11 The VILLAGE represents that it has sufficient funds or the means of obtaining funds to remit payment to the ENGINEER for services rendered by the ENGINEER.

8.12 Publications. Recognizing the importance of professional development on the part of ENGINEER'S employees and the importance of ENGINEER'S public relations, ENGINEER may prepare publications, such as technical papers, articles for periodicals, and press releases, pertaining to ENGINEER'S services for the PROJECT. Such publications will be provided to VILLAGE in draft form for VILLAGE's advance review. VILLAGE shall review such drafts promptly and provide VILLAGE's comments to ENGINEER. VILLAGE may require deletion of proprietary data or confidential information from such publications, but otherwise VILLAGE will not unreasonably withhold approval. The cost of ENGINEER'S activities pertaining to any such publication shall be for ENGINEER'S account.

8.13 Indemnification for Pollution Related Claims. For services involving or related to pollution, toxic substances, or hazardous wastes or asbestos abatement work, VILLAGE agrees to release, defend, indemnify, and hold harmless ENGINEER and its officers, directors,

employees, agents, and consultants and from all liability, claims, demands, damages, losses, and expenses, direct, indirect or consequential, including, but not limited to, claims of VILLAGE and other persons and organizations, reasonable fees and expenses of attorneys and consultants, and court costs against ENGINEER which arise out of the actual, alleged, or threatened dispersal, escape, or release of chemicals, wastes, liquids, gases, or any other material, irritant, contaminant, or pollutant, or arising out of or resulting from asbestos abatement work, unless such dispersal, escape or release is caused by ENGINEER, its agents or subcontractors.

8.14 Indemnification.

8.14.1 VILLAGE agrees that it will require all construction Contractors retained by the VILLAGE to indemnify, defend, and hold harmless VILLAGE and ENGINEER from and against any and all loss where loss is caused or incurred or alleged to be caused or incurred in whole or in part as a result of the negligence or other actionable fault of the Contractors, or their employees, agents, Subcontractors, and Suppliers.

8.14.2 If this PROJECT involves construction, and ENGINEER does not provide engineering services during construction including, but not limited to, on-site observation, Site visits, submittals review, and design clarifications, VILLAGE agrees to indemnify and hold harmless ENGINEER from or against any liability arising from the PROJECT or this Agreement.

8.14.3 The VILLAGE agrees to indemnify, protect and hold ENGINEER harmless from and against any and all claims, demands and causes of action by any third party for personal injury, property damage, loss of business or other economic damages arising out of any act, error or omission caused by the VILLAGE. ENGINEER agrees to indemnify, protect and hold the VILLAGE harmless from and against any and all claims, demands and causes of action by any third party for personal injury, property damage, loss of business or other economic damages arising out of any act, error or omission caused by the ENGINEER performing its services under this Agreement.

8.15 Computer Models. ENGINEER may use or modify ENGINEER'S proprietary computer models in service of VILLAGE under this Agreement, or ENGINEER may develop computer models during ENGINEER'S service to VILLAGE under this Agreement. Such use, modification, or development by ENGINEER does not constitute a license to VILLAGE to use or modify ENGINEER'S computer models. Said proprietary computer models shall remain the sole property of the ENGINEER. VILLAGE and ENGINEER will enter into a separate license agreement if VILLAGE wishes to use ENGINEER'S computer models.

8.16 Reuse of Documents. All documents including Contract Drawings and Specifications prepared or furnished by ENGINEER (and ENGINEER'S independent professional associates and consultants) pursuant to this Agreement are instruments of service in respect of the

PROJECT, and ENGINEER shall have the ownership and property interest therein whether or not the PROJECT is completed. VILLAGE may make and retain copies for information and reference in connection with the use and occupancy of the PROJECT by VILLAGE and others; however, such documents are not intended or represented to be suitable for reuse by VILLAGE or others on extensions of the PROJECT or on any other project. Any reuse without written verification or adaptation by ENGINEER for the specific purpose intended will be at VILLAGE's sole risk and without liability or legal exposure to ENGINEER, or to ENGINEER'S independent professional associates or consultants, and VILLAGE shall indemnify and hold harmless ENGINEER and ENGINEER'S independent professional associates and consultants from and against all claims, damages, losses, and expenses including attorneys' fees arising out of or resulting therefrom. Any such verification or adaptation will entitle ENGINEER to further compensation at rates to be agreed upon by VILLAGE and ENGINEER.

8.17 Electronic Media.

8.17.1 Any electronic media (computer disks, tapes, and similar items) furnished with respect to ENGINEER'S services are for VILLAGE's information and convenience only. Such media are not to be considered part of ENGINEER'S instruments of service. (Due to the potential that information contained in electronic media can be modified by VILLAGE or others, ENGINEER, at its option, may remove all indicia of ENGINEER'S ownership and involvement from each electronic display.)

8.17.2 ENGINEER shall not be liable for loss or damage directly or indirectly, arising out of use of electronic media including, but not limited to, any loss of business or incidental or consequential damage. VILLAGE shall assume all risk and release, indemnify, and hold harmless ENGINEER, its officers, directors, employees, servants, agents, successors, and assigns, from and against each and every claim or cause of action that VILLAGE or others may have or which may arise in the future respecting use of the electronic media.

8.17.3 If there is a discrepancy between the electronic media files and the signed and sealed hard copies, the hard copies shall govern.

8.18 Notices. Any Notice required under this Agreement will be in writing, addressed to the appropriate party at the following addresses:

VILLAGE:

Village Engineer

Village of Westmont

31 West Quincy Street

ENGINEER:

Kevin Hayes, P.E., A.I.A.

ESI Consultants, Ltd.

1979 N. Mill Street, Suite 100

8.19 Successors and Assigns. VILLAGE and ENGINEER, each binds himself and his successors, executors, administrators, and assigns to the other party of this Agreement and to the successors, executors, administrators, and assigns of such other party, in respect to all covenants of this Agreement; except as above, neither VILLAGE nor ENGINEER shall assign, sublet, or transfer his interest in the Agreement without the written consent of the other.

8.20 Controlling Law. This Agreement shall be subject to, interpreted and enforced according to the laws of the State of Illinois without regard to any conflicts of law provisions.

8.21 Entire Agreement. This Agreement represents the entire Agreement between the ENGINEER and VILLAGE relative to the Scope of Services herein. All previous or contemporaneous agreements, representations, promises, and conditions relating to ENGINEER'S services described herein are superseded. Since terms contained in purchase orders do not generally apply to professional services, in the event VILLAGE issues to ENGINEER a purchase order, no preprinted terms thereon shall become a part of this Agreement. Said purchase order document, whether or not signed by ENGINEER, shall be considered as a document for the VILLAGE's internal management of its operations.

8.22 Independent Contractor. ENGINEER acknowledges that all services provided to the VILLAGE under this Agreement shall be those of an independent contractor, and this Agreement shall not be construed to create a partnership, joint venture or employment relationship. ENGINEER shall be responsible for making all required deductions, contributions and payments to and for its employees. ENGINEER shall be responsible for controlling the work, hours and methods of work of its employees, agents and contractors under its direction. ENGINEER shall not be entitled to any insurance or other employee benefits from the VILLAGE. ENGINEER shall have no authority to bind the VILLAGE to any agreement, contract or obligation unless expressly consented to in advance by the VILLAGE.

8.23 Confidential Information. In the scope of performing services under this Agreement, ENGINEER or its agents and contractors may come into possession of or receive knowledge or information regarding confidential information of the VILLAGE or third parties seeking engineering and development approvals from the VILLAGE. Such confidential information may include, but is not limited to, architectural plans, engineering plans, processes, formulae, customer lists, marketing information, financial information, legal information, and business practices, whether protected by intellectual property rights or not, which the disclosing party considers confidential, whether or not specifically identified as such. ENGINEER agrees to treat and maintain such confidential information in confidence, shall protect it with the same degree of care which it uses to protect its own confidential information (which shall not be less than reasonable care), shall not disclose it to any third party and shall use it for the sole purpose of performing under this Agreement. For purposes of this Agreement, confidential information

shall not include any information which (a) is in the public domain at the time of disclosure or enters the public domain following disclosure through no fault of ENGINEER; (b) ENGINEER can demonstrate was already in its possession prior to disclosure hereunder or is subsequently disclosed to ENGINEER with no obligation of confidentiality by a third party having the right to disclose it; or (c) is independently developed by ENGINEER without reference to the disclosing party's confidential information. ENGINEER may disclose such confidential information upon the order of any court of competent jurisdiction or as otherwise required by law or legal process, provided that prior to such disclosure ENGINEER shall inform the disclosing party of such order if permitted by law, in order to provide the disclosing party with an opportunity to contest such order or to seek such other protective action as the disclosing party may elect. ENGINEER's indemnification of the VILLAGE under this Agreement shall include indemnification for damages for any breach of this provision by ENGINEER, including the unauthorized use of any third party's protected intellectual property rights.

IN WITNESS WHEREOF, the Village of Westmont, by and through its Village Mayor, and ESI Consultants, Ltd., by its authorized officer, have each made and executed this Agreement as of the day and year first above written.

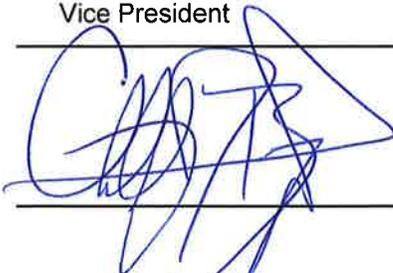
ENGINEER:

Company: ESI Consultants, Ltd.

By: 

Name: Kevin Hayes, P.E., A.I.A.

Title: Vice President

Attest: 

Name: Anthony Bryant, P.E.

Title: Manager of Municipal Services

VILLAGE:

Village of Westmont, Illinois

By: _____

Name: Ron Gunter

Title: Mayor

Attest: _____

Name: Virginia Szymski

Title: Village Clerk

Exhibit A

Village of Westmont Stormwater Permit Review Services

BACKGROUND

In response to a petition from the Village of Westmont, partial-waiver status was granted to the Village on December 3, 2002 by the DuPage County Stormwater Management Committee with respect to the administration and enforcement of the DuPage County Countywide Stormwater and Floodplain Ordinance (hereinafter referred to as ORDINANCE). As a partial-waiver community, the Village of Westmont is obligated to issue all stormwater permits for work within its corporate limits that is required to secure a permit under the ORDINANCE. This includes both stormwater management permits and permits for activities within Special Management Areas. The Village has authority to issue Stormwater Management Permits, but may not issue permits for work within Special Management Areas without the approval of the DuPage County Division of Environmental Concerns (hereinafter referred to as DEC). As a result of its partial-waiver status, the Village has elected to engage the services of ENGINEER to assist it in fulfilling its responsibilities as a partial-waiver community.

RESPONSIBILITIES OF ENGINEER

Review Process and Meetings:

ENGINEER shall follow the Village of Westmont's process in reviewing and approving a permit application. This process accommodates customary Village of Westmont Engineering Division plan review policies and procedures as well as conforms to the requirements of the ORDINANCE. In addition, ENGINEER shall attend, when requested by the Village of Westmont, all meetings with developers, owners, consultants, and/or DEC staff. These services shall be provided on an as requested basis and shall be performed on an hourly rate basis plus reimbursable expenses in accordance with Exhibit B to this Agreement. ENGINEER shall review those permit applications assigned it by the Village of Westmont Engineering Division staff. This shall include the completion of all appropriate forms, checklists, and flowcharts.

Special Management Areas:

ENGINEER shall make a site visit to each site for which a permit is sought to determine whether the documents submitted by the applicant are accurate and that the proposed work will not affect a Special Management Area. Should the proposed work appear to affect a Special

Management Area, ENGINEER is to notify the DEC staff and request a site evaluation with respect to the suspected special management.

Review Time, Permit Certification, Statement of Charges:

The results of all permit reviews are to be communicated to the Village of Westmont Municipal Services staff by written memorandum. These services shall be provided on an as requested basis and shall be performed on an hourly rate basis plus reimbursable expenses in accordance with Exhibit B to this Agreement. Typically, permit reviews for individual single-family or duplex lots shall be completed within one (1) to two (2) weeks. Reviews for commercial projects or subdivisions shall be completed within two (2) to three (3) weeks. ENGINEER may request an extension in time where the volume of permit applications in progress at one time is large and the Village of Westmont shall not unreasonably deny such a request under those circumstances. ENGINEER will submit an estimated completion date for each review within one (1) day of receipt of a permit review request, such estimate based on the complexity of the tasks involved. A written summary shall be provided for each permit review. The report shall provide an itemization of any discrepancies, errors, or omissions found with regard to the permitting requirements of the ORDINANCE and/or the Village. If no discrepancies, errors, or omissions are found, a certification letter shall be submitted stating that the permit is in substantial compliance with said permitting requirements, along with an accounting of all charges associated with the completed review. The certification letter shall include a summary of all documents reviewed for such project.

RESPONSIBILITIES OF VILLAGE

Review Process:

From time to time, VILLAGE shall revise and refine the review process and standard forms to be used by ENGINEER. ENGINEER is encouraged to recommend changes that may be beneficial to the process. VILLAGE will provide copies of permit submittals for review. VILLAGE will also assist ENGINEER regarding interpretation of the ORDINANCE and Village requirements.

Field Visits:

VILLAGE will assist ENGINEER in gaining field access to project sites and affected areas as required to complete the reviews.

Exhibit B

**Schedule of Engineer's Hourly
Professional Service Billing Rates**

- - - See Attachment A - - -

2016 STANDARD BILLING RATES

ESI CONSULTANTS, LTD. STAFF BILLING RATE SCHEDULE

(Rates effective January 1, 2016 through December 31, 2016)

Description	Hourly Rate
President / Principal	\$230.00
Vice President / Director	\$180.00
Senior Admin. Management Consultant	\$175.00
Senior Manager / Senior Consultant	\$173.00
Senior Structural Project Manager	\$190.00
Senior Project Manager	\$170.00
Structural Project Manager	\$165.00
Project Manager / Project Manager Consultant	\$152.00
Senior Resident Engineer	\$145.00
Resident Engineer 3	\$142.00
Senior Structural Project Engineer	\$145.00
Project Engineer 2	\$135.00
Resident Engineer 2	\$135.00
Landscape Architect	\$135.00
Structural Project Engineer	\$130.00
Project Engineer/ Resident Engineer 1	\$124.00
Senior Technician 2	\$119.00
Engineer 3	\$113.00
Engineer 2	\$105.00
Engineer 1	\$90.00
Resident Technician / Senior Technician	\$101.00
Technician 3	\$92.00
Technician 2	\$82.00
Technician 1 / Engineering Intern	\$73.00
Administrative Associate 3	\$69.00
Administrative Associate 2	\$59.00
Administrative Associate 1	\$47.00
Administrative Clerk 1	\$37.00

Note: - Time is charged portal to portal

All direct expenses are calculated using a factor of 1.10.

Travel expenses are based upon the current State Mileage Reimbursement Rates.

